

# Planning Committee

## 7 November 2022

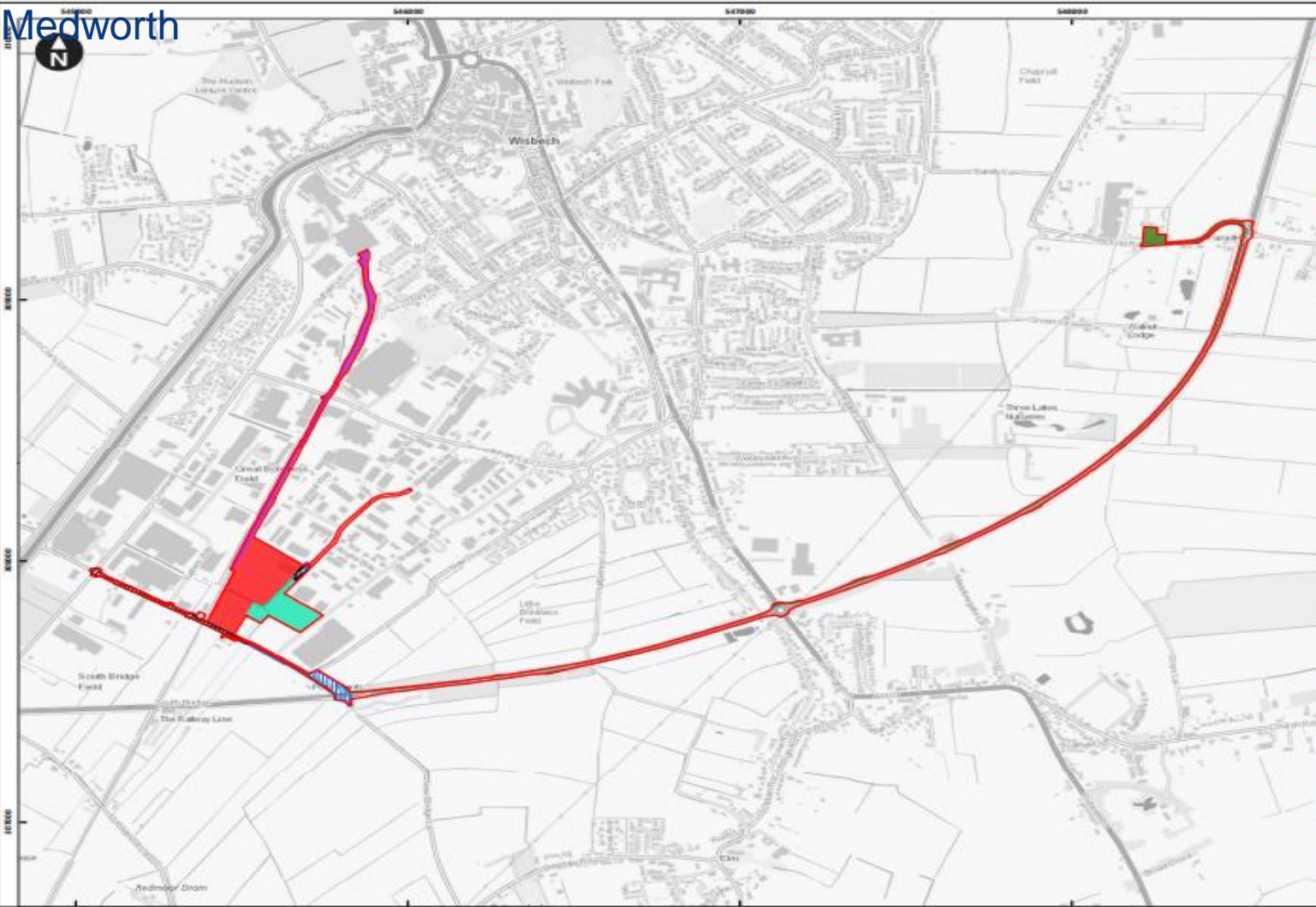


# Medworth

## Relevant Representations - Consultation







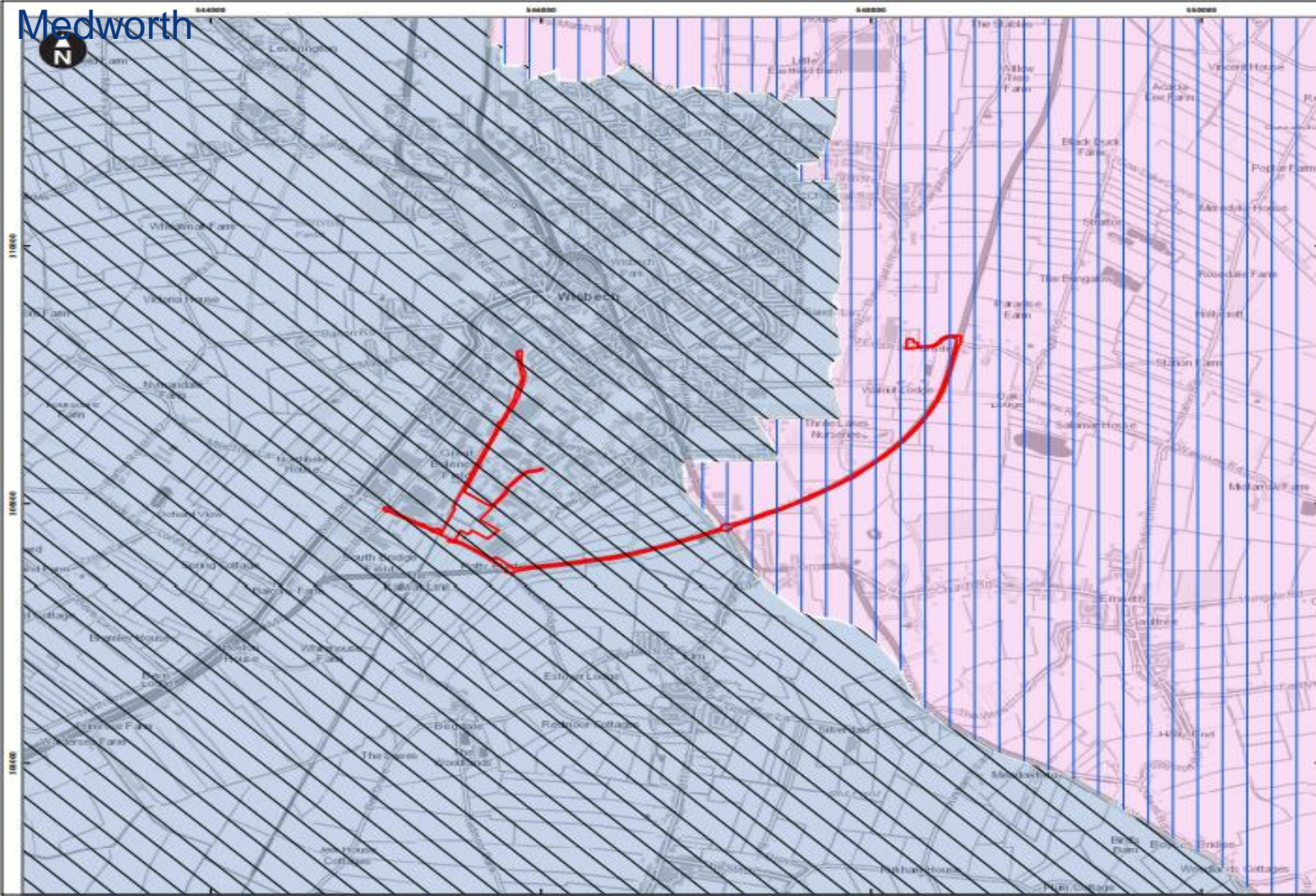
- Proposed Limits
- EW CHP Facility Site
- CHP Connection
- Temporary Construction Compound
- Grid Connection
- Access Improvements
- Water Connections



Scale at A1: 1:10,000  
© Crown copyright and database rights, 2021 Ordnance Survey (100014673)



Medworth CHP Limited  
Medworth Energy from Waste Combined Heat and Power Facility  
Environmental Statement  
Chapter 3 - Description of the Proposed Development  
**Figure 3.25**  
**Project Components**



- Local Limits
- Cambridgehire County Council
- Norfolk County Council
- Fenland District
- King's Lynn and West Norfolk District

Scale at A3: 1:25,000  
 © Crown Copyright. All rights reserved. Licence number AL100021796



Medworth CHP Limited  
 Medworth Energy from Waste Combined Heat and Power Facility DCO  
 Environmental Statement  
 Chapter 3 Description of the Proposed Development  
**Figure 3.1**  
**Local Authority Boundaries**



# The application process.

## The six steps

The Inspectorate, on behalf of the Secretary of State, has **28 days** to decide whether the application meets the required standards to proceed to examination including whether the developer's consultation has been adequate.

You can send in your comments in writing. You can request to speak at a public hearing. The Inspectorate has **6 months** to carry out the examination.

There is the opportunity for legal challenge.

Pre-application

Acceptance

Pre-examination

Examination

Decision

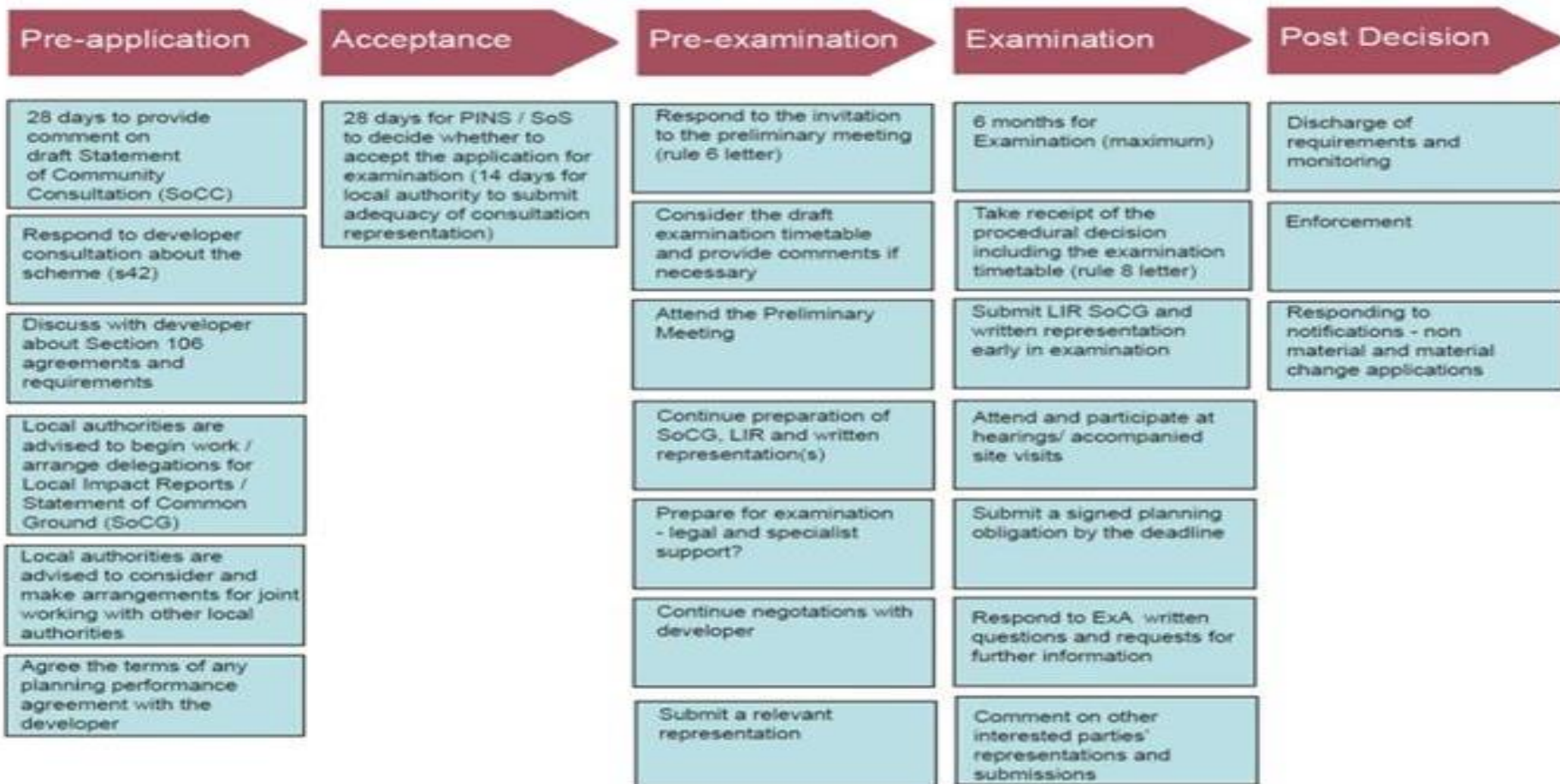
Post-decision

Look out for information in local media and in public places near the location of the proposed project, such as your library. The developer will be developing their proposals and will consult widely.

You can now register as an interested party; you will be kept informed of progress and opportunities to put your case. Inspectors will hold a Preliminary Meeting and set the timetable for examination.

A recommendation to the relevant Secretary of State will be issued by the Inspectorate within **3 months**. The Secretary of State then has a further **3 months** to issue a decision on the proposal

# The role of local authorities

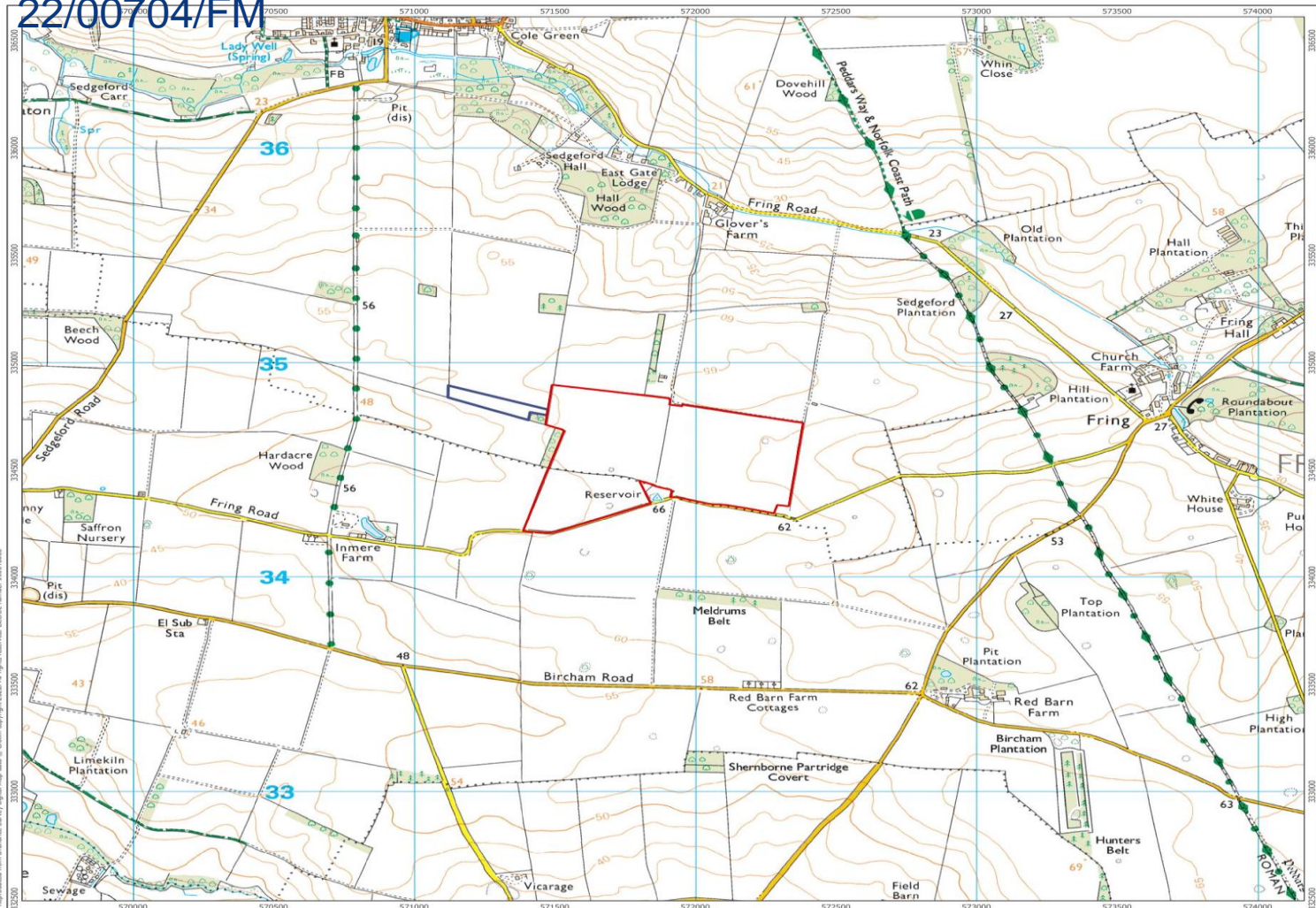


22/00704/FM





- Planning Boundary
- Land Under Applicants Control

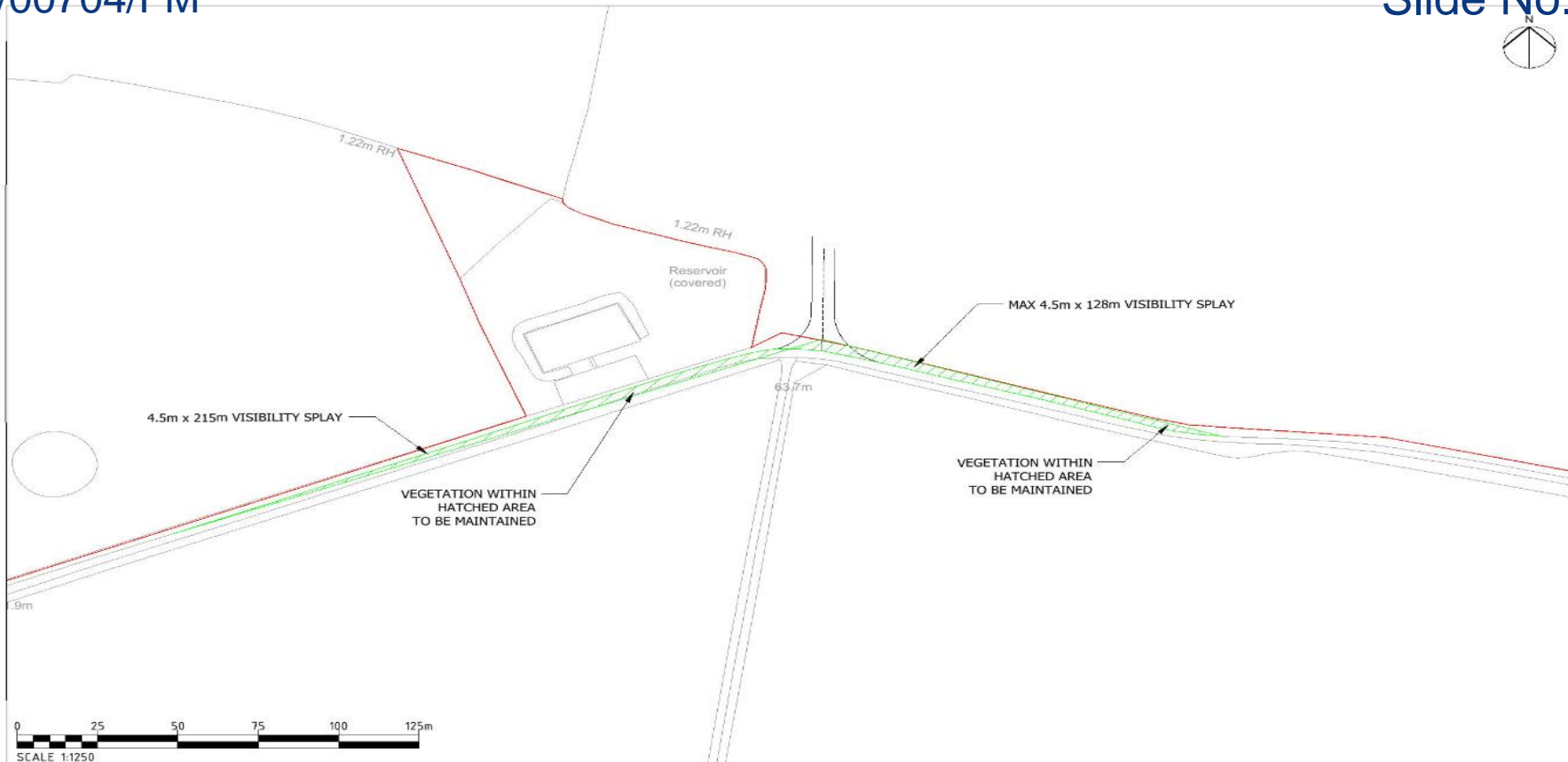


Produced By: EB      Ref: 4173-REP-012  
 Checked By: SC      Date: 21/01/2022

**Site Location Plan**  
Figure 1

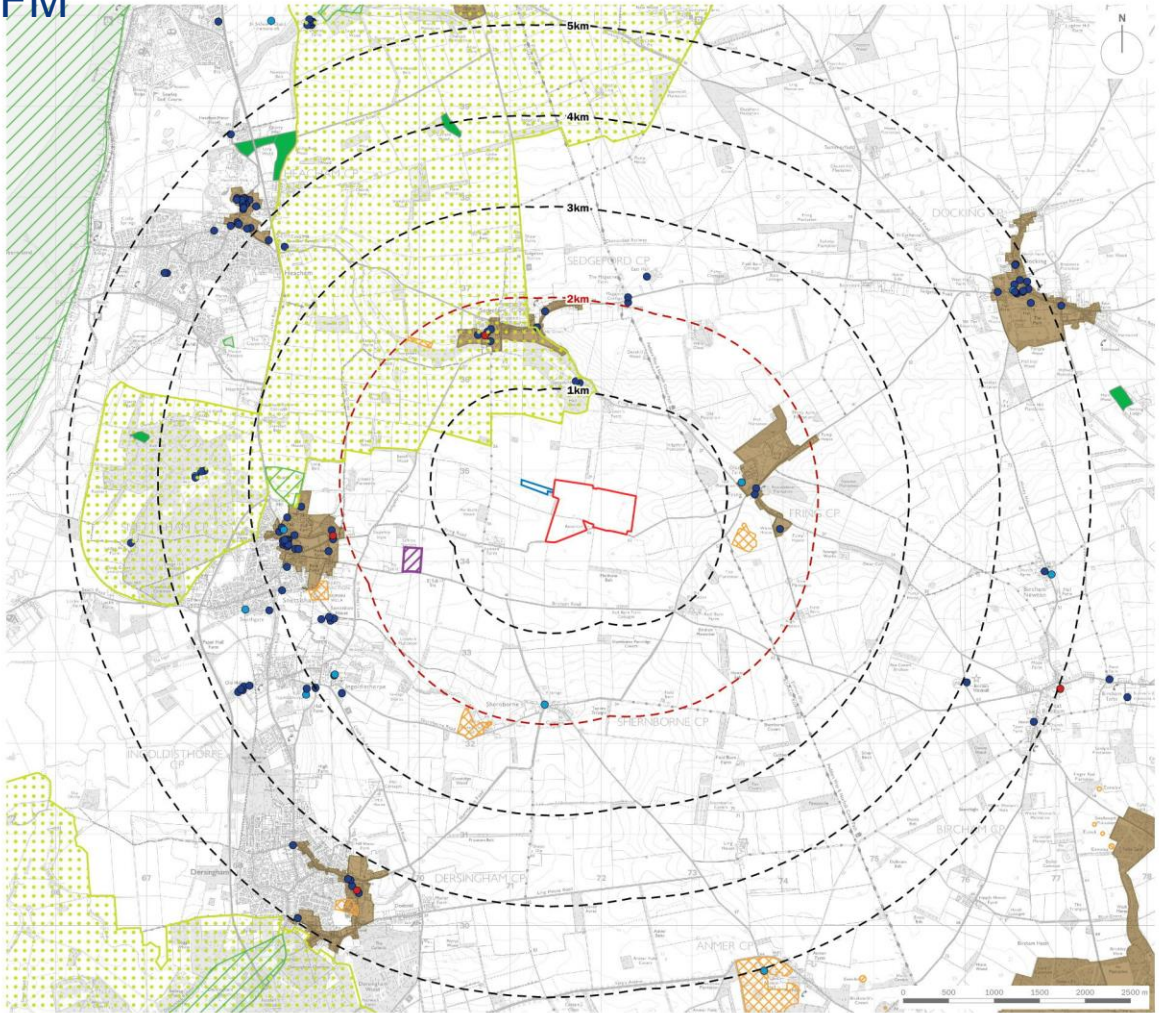
**Sedgeford Hall Solar Farm  
 Planning, Design and Access  
 Statement**





Project Title <b>SEDFORD HALL SOLAR FARM</b>		Drawing Title <b>SITE ENTRANCE JUNCTION ALTERNATIVE LOCATION VISIBILITY SPLAY ASSESSMENT</b>		Purpose of Issue <b>FOR INFORMATION</b>		THIS DOCUMENT HAS BEEN PREPARED IN ACCORDANCE WITH THE SCOPE OF ARCUS APPOINTMENT WITH ITS CLIENT AND IS SUBJECT TO THE TERMS OF THAT APPOINTMENT. ARCUS ACCEPTS NO LIABILITY FOR ANY USE OF THIS DOCUMENT OTHER THAN BY ITS CLIENT AND ONLY FOR THE PURPOSES FOR WHICH IT WAS PREPARED AND PROVIDED		Arcus Consultancy Services 7th Floor 144 West George Street Glasgow, G2 2HG Tel: +44 (0)141 221 9997 Fax: +44 (0)141 221 5610 <a href="http://www.arcusconsulting.co.uk">www.arcusconsulting.co.uk</a>	
Client <b>REGENER8POWER</b>		Designed KB Drawn KB Checked FO Approved TAT		Arcus Internal Project No. 4173 Scale @ A3 1:1250		Date 28/04/21		Drawing Number <b>4173_DR_P_0001</b>	
								Rev -	





- Site Boundary
- Land Under Applicants Control
- Range Rings (at 1km intervals)
- 2km Detailed Study Area
- Landscape**
- Norfolk Coast AONB
- Ecology**
- Ancient Woodland
- Sites of Special Scientific Interest (SSSI)
- Heritage**
- Grade I Listed Building
- Grade II\* Listed Building
- Grade II Listed Building
- Scheduled Monument
- Conservation Area
- Cumulative Sites**
- Existing: Snettisham Solar Farm

client  
**Regener8 Power Ltd**

project title  
**Sedgeford Hall Solar Farm**

drawing title  
**Figure 4.3: Landscape Designations and Other Relevant Considerations**

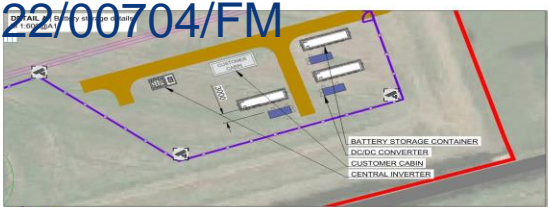
date **27 OCTOBER 2021** drawn by **CLM**  
drawing number **edp6676\_001a** checked **TF**  
scale **1:40,000 @ A3** checked **RB**

**edp** the environmental dimension partnership

Registered office: 01285 740427 - www.edp-uk.co.uk - info@edp-uk.co.uk



22/00704/FM



- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.



Revisions:

Rev	Date	Comments	Drawn
J.	11/09/21	Site boundary adjusted	DA
K.	30/09/21	Layout updated	AP
L.	24/10/21	Modules relocated	AP
M.	27/09/21	Fence relocated	AP
N.	20/02/21	Fence relocated	AP

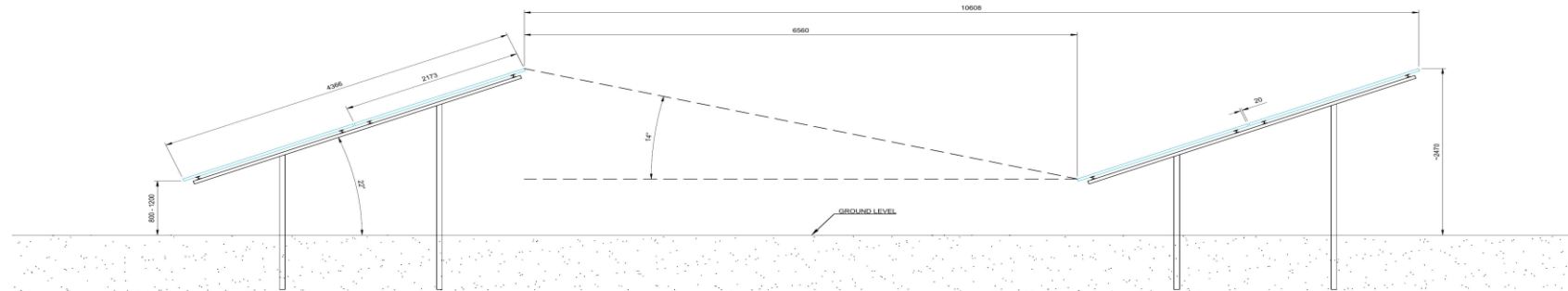
Project: Swigfold Hall  
 Location: Kings Lynn PE31 6SE, United Kingdom 52°52'53.79"N 0°33'13.1"E  
 Title: PV Layout

Drawn: DETRA / ZS  
 Scale: 1:175000  
 Date: 30/09/21  
 Drawing No: 004003-100



The Old Hag Inn, Long Garden Walk,  
 210A, Kings Lynn, PE31 6SE,  
 Email: admin@regener8power.com  
 regener8power.com





- Name:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.



Revisions:

Rev	Date	Comments	Drawn
A	01/08/22	Frame maximum height changed	UZ

Project: Sedgeford Hall  
 Location: Kings Lynn, PE31 6BB, United Kingdom  
 Grid: 52°53.797N 0°33'13.31"E  
 Title: PV Array Details

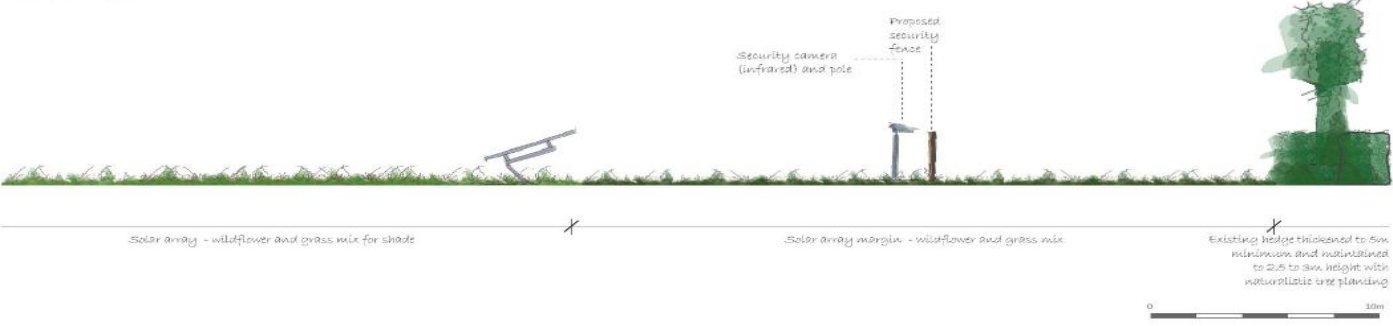
Drawn: DETRA / MG Checked: AF  
 Scale: 1:250 Date: 08/11/21  
 Drawing No: FM/1003-00 Rev: A



The Old Hop Kiva, Long Garden Walk,  
 Old Hop, UK.  
 Email: admin@regener8solar.com  
 regener8solar.com

# 22/00704/FM

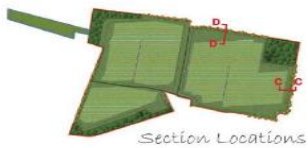
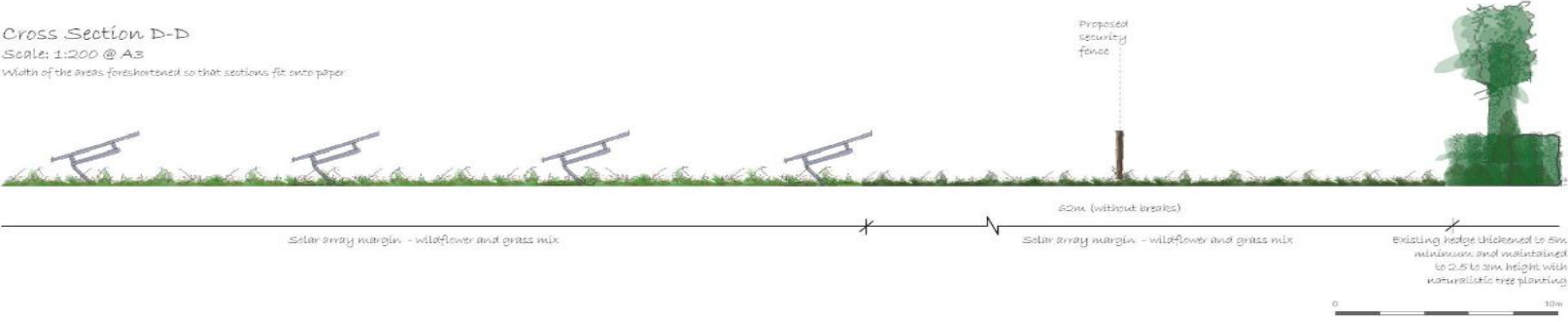
Cross Section C-C  
Scale: 1:200 @ A3



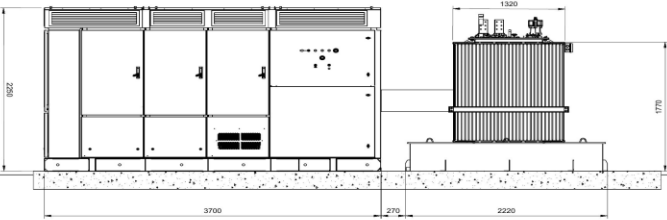
## Cross Section D-D

Scale: 1:200 @ A3

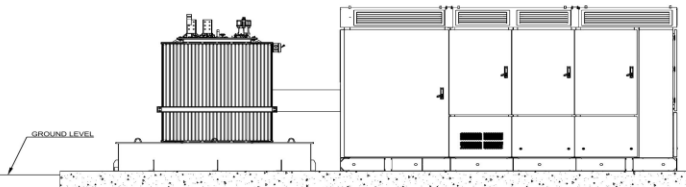
Width of the areas foreshortened so that sections fit onto paper.



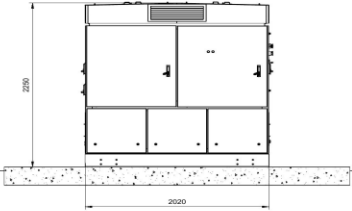
LEFT SIDE VIEW



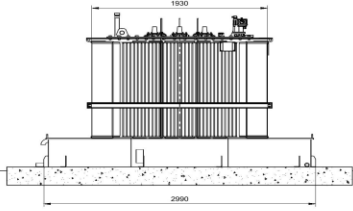
RIGHT SIDE VIEW



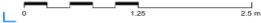
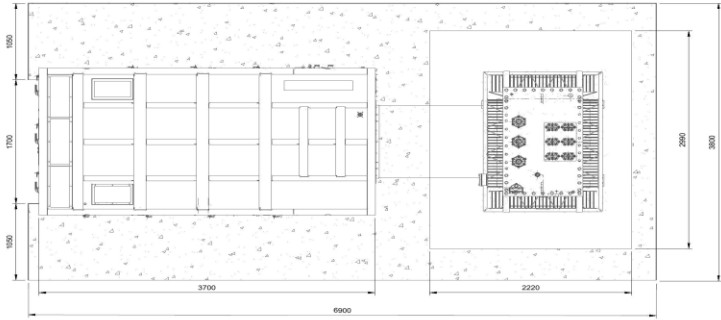
FRONT SIDE VIEW



REAR SIDE VIEW



TOP VIEW



- Note:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and no item unless otherwise specified.
  3. Dimensions that needs to be site specific and decided by subcontractor.



Revisions:

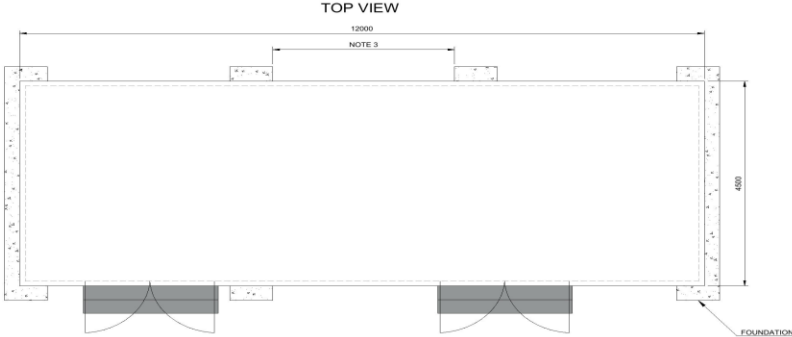
Rev	Date	Comments	Drawn

Project: Sedgeford Hall  
 Location: Kings Lynn, PE31 6GB, United Kingdom  
 52°52'53.787N 0°33'13.317E  
 Title: Central Inverter Elevation

Drawn: DETRA / AP      Checked: AP  
 Scale: 1:250A1      Date: 09/11/21  
 Drawing No: FMV1003-002      Rev: -

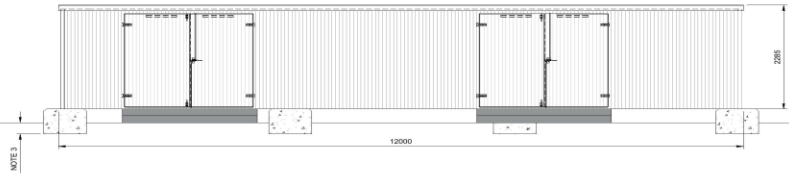
**REGENER8 POWER**

The Old Hop Kiva, Long Garden Walk,  
 Old Hop, UK  
 Email: admin@regener8power.com  
 regener8power.com

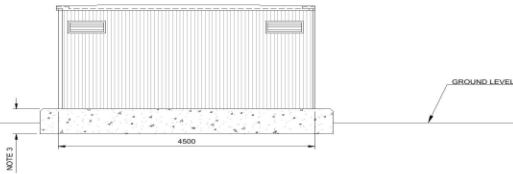


- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.
  3. Distances that needs to be site specific and decided by subcontractor.

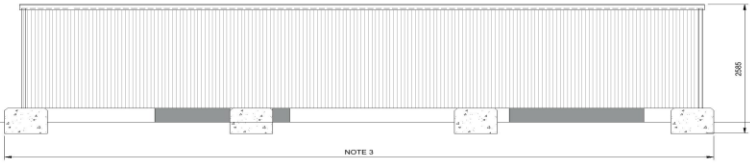
FRONT SIDE VIEW



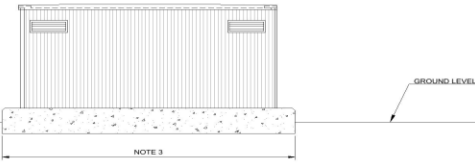
RIGHT SIDE VIEW



REAR SIDE VIEW



LEFT SIDE VIEW

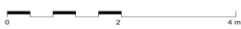


Revisions:

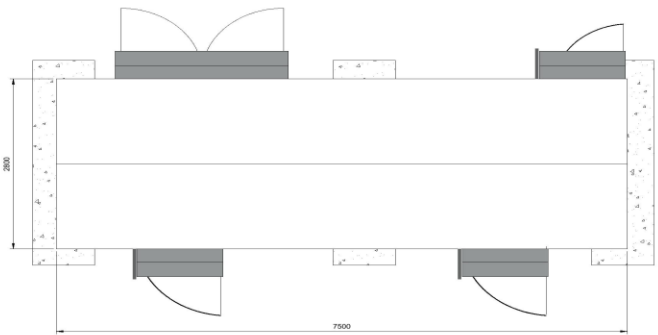
Rev	Date	Comments	Drawn

Project: Swigford Hall  
 Location: Kings Lynn, PE31 6SS, United Kingdom  
 52°52'53.79"N 0°33'13.31"E  
 Title: Customer Cabin Details

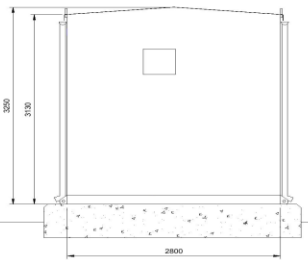
Drawn: DETRA / AP      Checked: AF  
 Scale: 1:100(A1)      Date: 09/11/21  
 Drawing No: R041/003.010      Rev: --



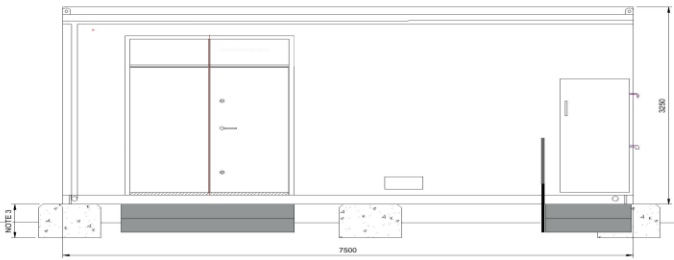
TOP VIEW



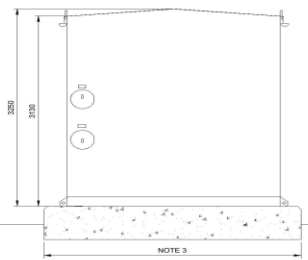
RIGHT SIDE VIEW



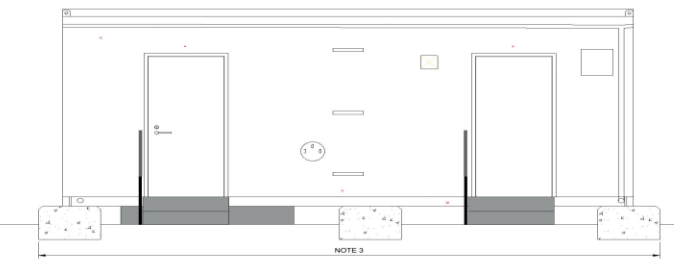
FRONT SIDE VIEW



LEFT SIDE VIEW



REAR SIDE VIEW



GROUND LEVEL

GROUND LEVEL

NOTE 3

NOTE 3



- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.
  3. Distances that needs to be site specific and decided by subcontractor.

Proposed location:



Revisions:

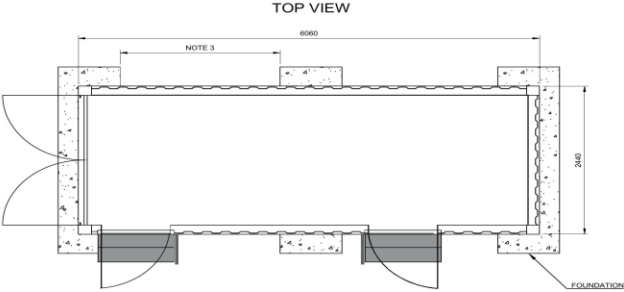
Rev.	Date	Comments	Drawn

Project: Swigford Hall  
 Location: King's Lynn, PE31 6SE, United Kingdom 52°52'53.79"N 0°33'13.31"E  
 Title: DNO Details

Drawn: DETRA / AP      Checked: AF  
 Scale: 1:200(A1)      Date: 09/11/21  
 Drawing No: R041/003/020      Rev: -

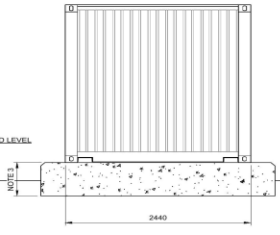
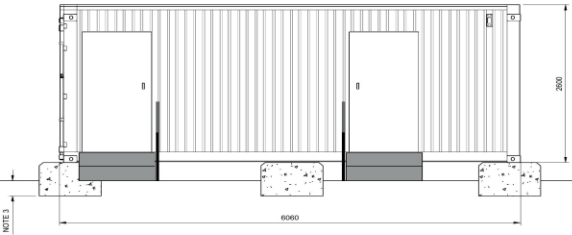
The Old Hop Kils, Long Garden Walk,  
 23/24 The Old  
 Email: admin@regener8power.com  
 regener8power.com

Regener8 Power is a limited liability company registered in England and Wales. Registered office: The Old Hop Kils, Long Garden Walk, 23/24 The Old, King's Lynn, Norfolk, PE31 6SE. Registered number: 11208411. VAT number: 264 548 742. Regener8 Power is a limited liability company registered in England and Wales. Registered office: The Old Hop Kils, Long Garden Walk, 23/24 The Old, King's Lynn, Norfolk, PE31 6SE. Registered number: 11208411. VAT number: 264 548 742.



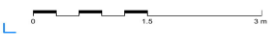
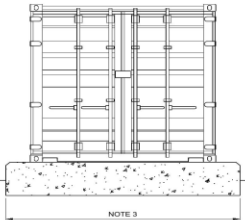
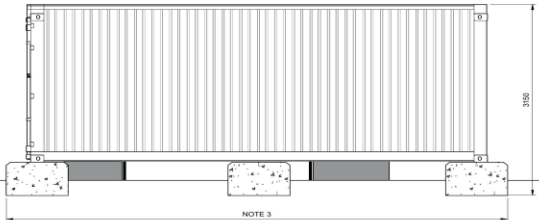
FRONT SIDE VIEW

RIGHT SIDE VIEW



REAR SIDE VIEW

LEFT SIDE VIEW



- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.
  3. Distances that needs to be site specific and decided by subcontractor.



Revisions:

Rev.	Date	Comments	Drawn

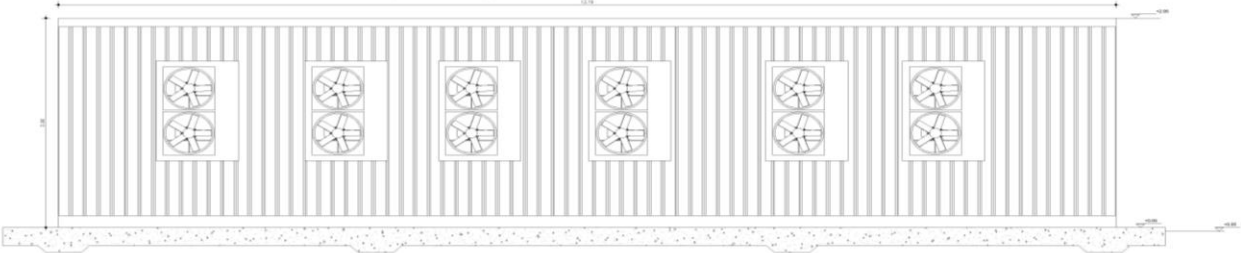
Project: Swigford Hall  
 Location: King's Lynn, PE31 6SS, United Kingdom  
 52°52'53.79"N 0°33'13.31"E  
 Title: DC/DC Converter Details

Drawn: DETRA / MS      Checked: AF  
 Scale: 1:200(A1)      Date: 03/09/21  
 Drawing No: R041/003/229      Rev: --

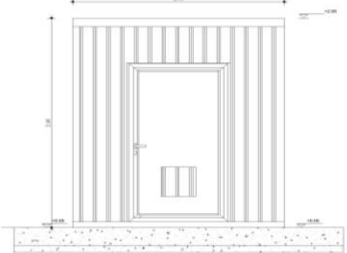
The Old Hag Inn, Long Garden Walk,  
 2106 TMC Ltd  
 Email: admin@regener8power.com  
 regener8power.com



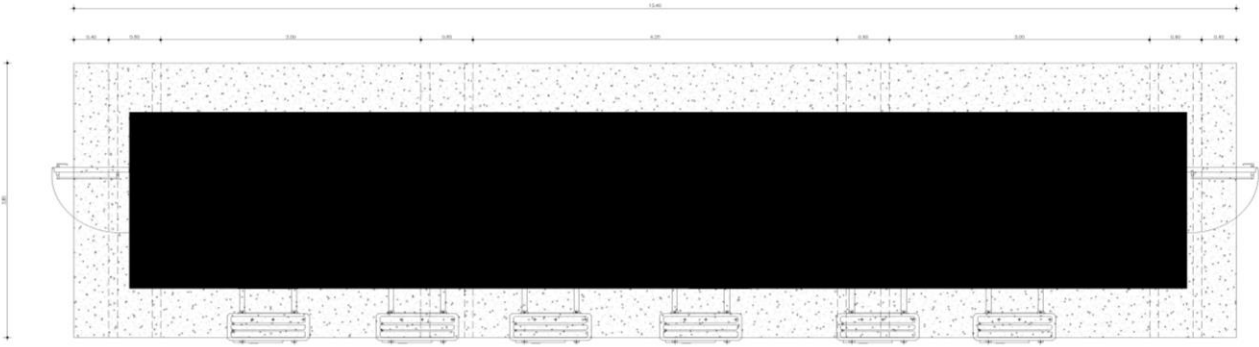
BATTERY SIDE VIEW (same view for both sides)



BATTERY SIDE VIEW



BATTERY PLAN VIEW

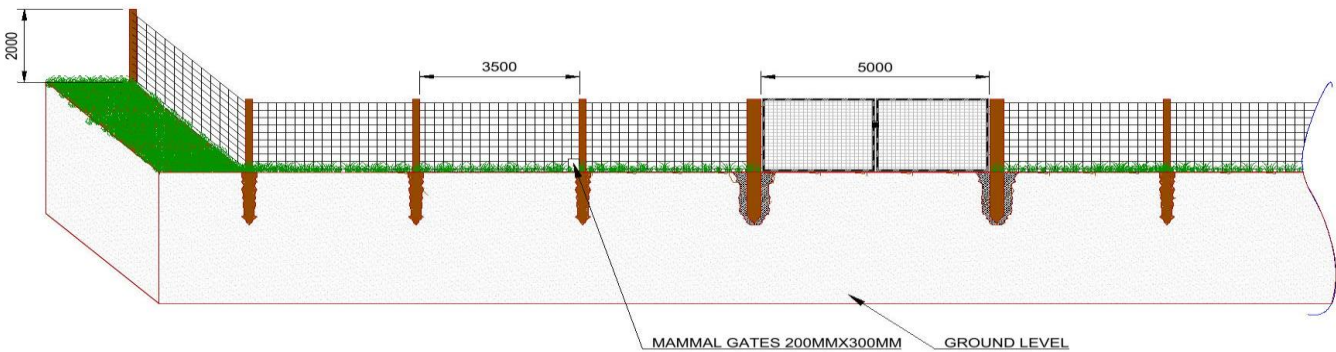


\*Foundation type and dimensions are indicative. They will be finalized based on geometrical and structural studies.

		LIC - Sedghard Hall Project	
BATTERY CONTAINER		DRAWING NO.	
PROJECT NO.		DATE	
CLIENT		SCALE	
DESIGNER		CHECKED BY	
APPROVED BY		PROJECT MANAGER	



- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.



Proposed location:



Revisions:

Rev	Date	Comments	Drawn

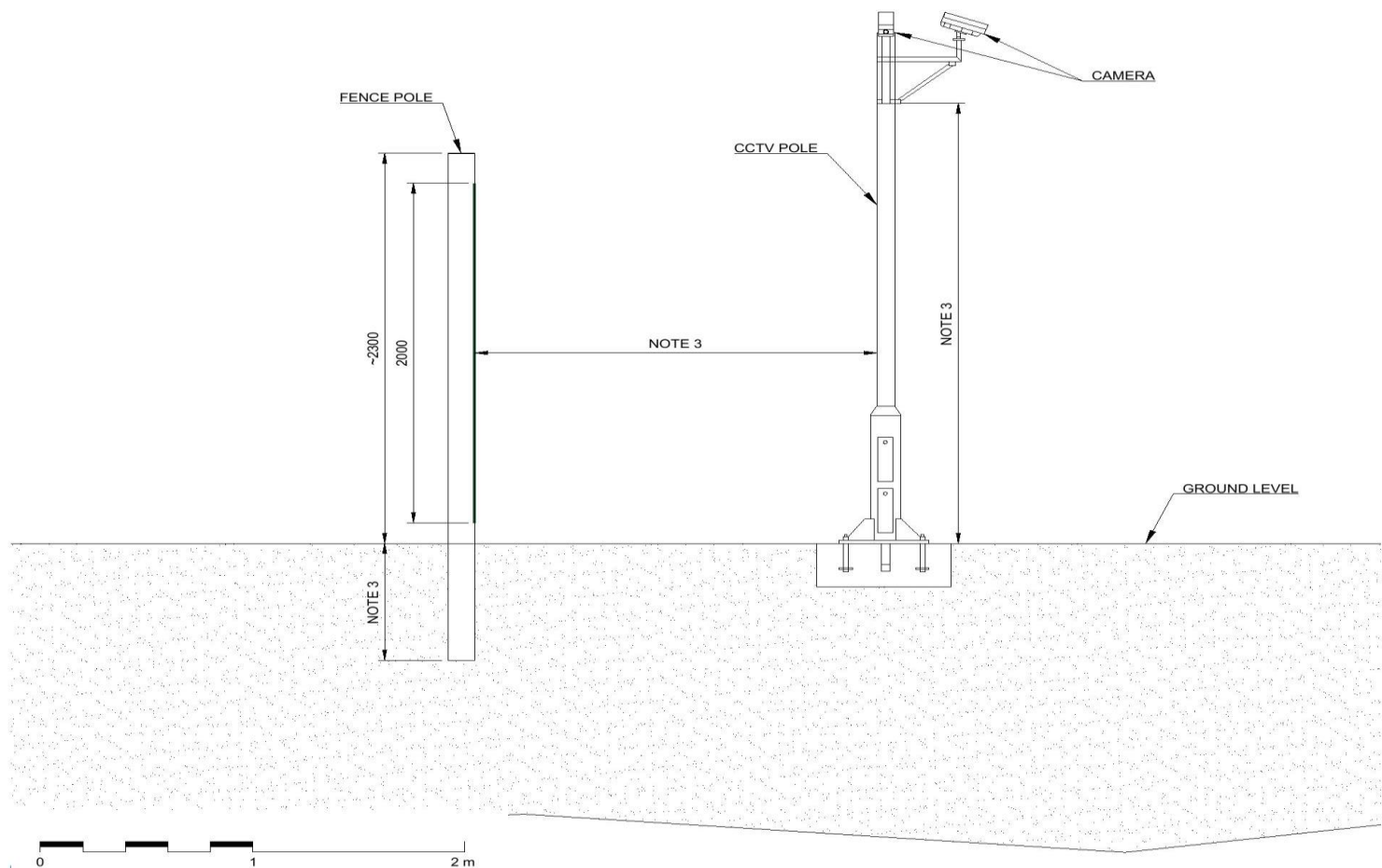
Project: Sedgeford Hall  
 Location: King's Lynn, PE31 6SB, United Kingdom 52°52'53.79"N 0°33'13.31"E  
 Title: Fence & Gate Section Details

Drawn: DETRA / AP Checked: AF  
 Scale: 1:100@A3 Date: 03/11/21  
 Drawing No: RNR1003-231 Rev: --



The Old Hop Kiln, Long Garden Walk, GU9 7HX, UK  
 Email: admin@regener8power.com  
 regener8power.com  
Do not scale from this drawing. Site verify all dimensions prior to construction. Report all discrepancies to the drawing originator immediately. This drawing is to be read in conjunction with all relevant documents and drawings.





Notes:

- 1. All dimensions to be confirmed on site prior to installation.
- 2. All dimensions are indicative only and in mm unless otherwise specified.
- 3. Distances that needs to be site specific and decided by subcontractor.

Proposed location:



Revisions:

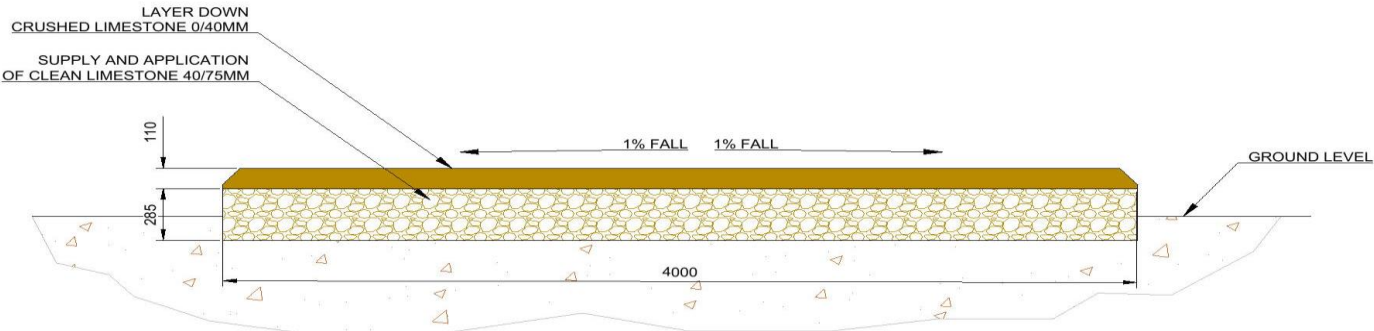
Rev	Date	Comments	Drawn

Project: Sedgeford Hall  
 Location: King's Lynn, PE31 6SB, United Kingdom  
 52°52'53.79"N 0°33'13.31"E  
 Title: CCTV Pole Mounting Details

Drawn: DETRA / AP Checked: AF  
 Scale: 1:20@A3 Date: 03/11/21  
 Drawing No: RNR1003-232 Rev: --



The Old Hop Kiln, Long Garden Walk, GU9 7HX, UK  
 Email: [admin@regener8power.com](mailto:admin@regener8power.com)  
[regener8power.com](http://regener8power.com)  
 Do not scale from this drawing. Site verify all dimensions prior to construction. Report all discrepancies to the drawing originator immediately. This drawing is to be read in conjunction with all relevant documents and drawings.



- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.



Revisions:

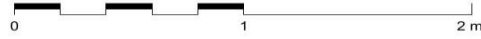
Rev	Date	Comments	Drawn

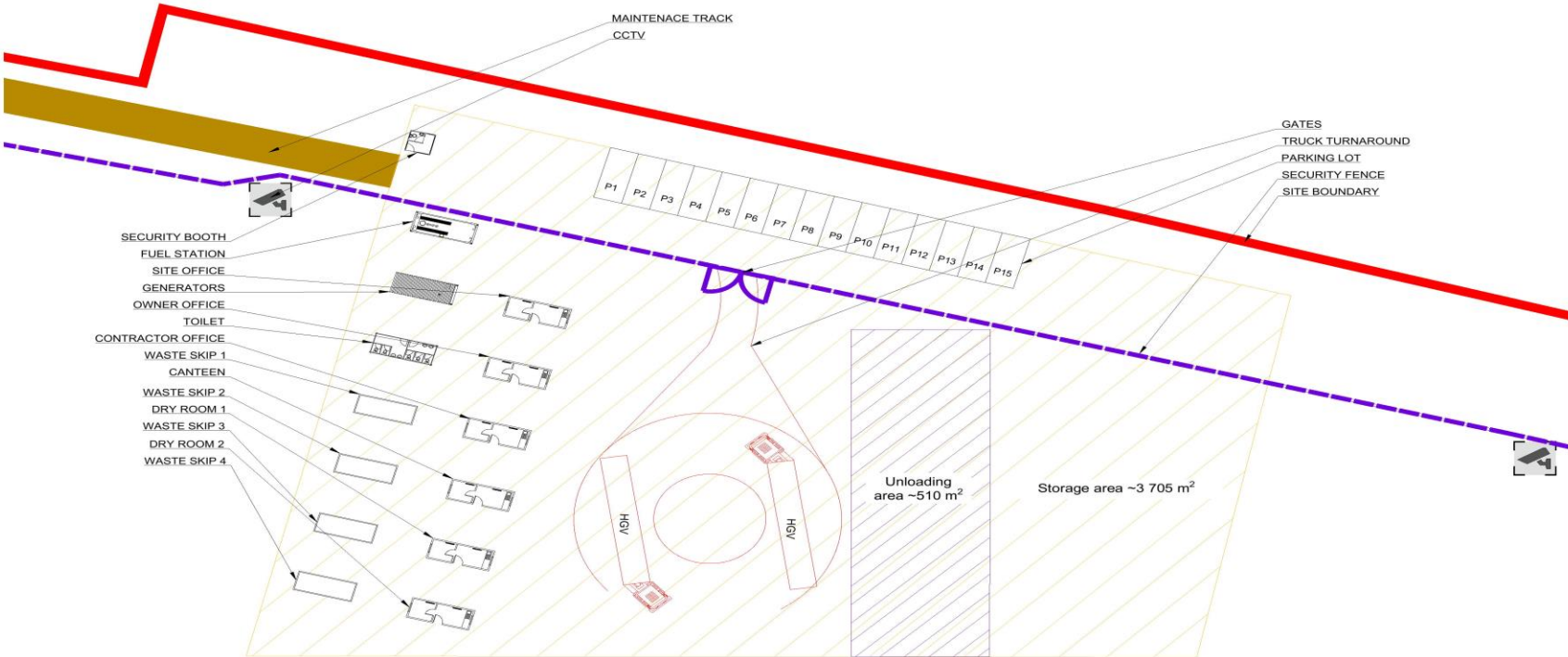
Project: Sedgeford Hall  
 Location: King's Lynn, PE31 6SB, United Kingdom  
 52°52'53.79"N 0°33'13.31"E  
 Title: Access Track Section Details

Drawn: DETRA / AP      Checked: AF  
 Scale: 1:20@A3      Date: 03/11/21  
 Drawing No: RNR1003-230      Rev: --



The Old Hop Kiln, Long Garden Walk,  
 GU9 7HX, UK  
 Email: admin@regener8power.com  
 regener8power.com  
 Do not scale from this drawing. Site verify all dimensions prior to construction. Report all discrepancies to the drawing originator immediately. This drawing is to be read in conjunction with all relevant documents and drawings.





- SECURITY BOOTH
- FUEL STATION
- SITE OFFICE
- GENERATORS
- OWNER OFFICE
- TOILET
- CONTRACTOR OFFICE
- WASTE SKIP 1
- CANTEEN
- WASTE SKIP 2
- DRY ROOM 1
- WASTE SKIP 3
- DRY ROOM 2
- WASTE SKIP 4

- GATES
- TRUCK TURNAROUND
- PARKING LOT
- SECURITY FENCE
- SITE BOUNDARY

- Notes:
- All dimensions to be confirmed on site prior to installation.
  - All dimensions are indicative only and in mm unless otherwise specified.

- Legend:
- Site boundary
  - Perimeter fence
  - Maintenance track (6m wide)
  - CCTV
  - Site office
  - Owner office
  - Contractor office
  - Canteen
  - Dry room
  - Waste skip
  - Generators
  - Fuel station
  - Toilet
  - Security booth



Revisions:

Rev	Date	Comments	Drawn

Project: Swigford Hall  
 Location: King's Lynn, PE31 6SE, United Kingdom  
 52°52'53.79"N 0°33'13.31"E  
 Title: Construction Compound Layout

Drawn: DETRA / AP    Checked: AF  
 Scale: 1:200@A1    Date: 09/11/21  
 Drawing No: R041003-100    Rev:  

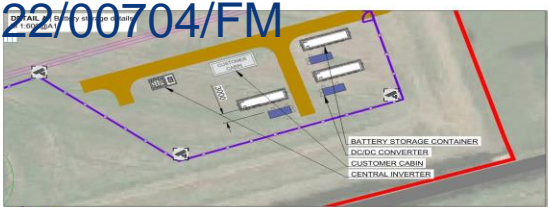


The Old Hag Inn, Long Garden Walk,  
 22nd Floor, 5th  
 Email: admin@regener8power.com  
 www.regener8power.com





22/00704/FM



- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.

Legend:

- Site boundary
- Perimeter fence
- Maintenance track (ten sides)
- Customer cabin
- DNOC equipment
- Control inverter
- Battery storage container
- DC/DC converter
- Construction compound area
- Mature woodland area
- Land under applicant's control
- Overhead line (OHL)
- OCTV



Revisions:

Rev	Date	Comments	Drawn
J.	11/09/21	Site boundary adjusted	DA
K.	30/09/21	Layout updated	AP
L.	24/09/21	Modules relocated	AP
M.	27/09/21	Fence relocated	AP
N.	28/09/21	Fence relocated	AP

Project: Swigfold Hall  
 Location: Kings Lynn PE31 6SE, United Kingdom 52°52'53.79"N 0°33'13.1"E  
 Title: PV Layout

Drawn: DETRA / ZS Checked: AP  
 Issue: 1/17/2021 Date: 30/09/21  
 Drawing No: 004003-100 Rev: N



The Old Hag Inn, Long Garden Walk,  
 Old Hag, Kings Lynn, Norfolk PE31 6SE,  
 Email: admin@regener8power.com  
 regener8power.com





\*Existing vegetation to be retained, protected and enhanced (see below). Where hedge removal is necessary, removal to be kept to a minimum and hedge replaced to tie into adjacent retained hedge.

\*\*All planting to comprise of locally prevalent native species chosen to maximise species diversity and planted to reflect locally prevalent forms.

\*\*\*Indicative locations shown - positioning to be informed by an ecologist. Variable bird and bat box design to suit local species interests.

Note: This drawing is based on Regener8 Power PV Layout (RNR1003-100 Rev N)

**Indicative Planting Schedules**

**Shrub planting: Hedgerows, woodland and woodland edge**

Latin Name	Common Name
<i>Frangula alnus</i>	Alder buckthorn
<i>Prunus spinosa</i>	Blackthorn
<i>Malus sylvestris</i>	Crab apple
<i>Cornus sanguinea</i>	Dogwood
<i>Sambucus nigra</i>	Elder
<i>Acor campestris</i>	Field maple
<i>Viburnum opulus</i>	Gelder rose
<i>Crataegus monogyna</i>	Hawthorn
<i>Ilex aquifolium</i>	Holly
<i>Corylus avellana</i>	Hazel
<i>Euonymus europaeus</i>	Spindle
<i>Ligustrum vulgare</i>	Wild privet

**Tree planting: Hedgerows and woodland**

Latin Name	Common Name
<i>Alnus glutinosa</i>	Alder
<i>Populus tremula</i>	Aspen
<i>Fagus sylvatica</i>	Beech
<i>Quercus robur</i>	Common oak
<i>Betula pubescens</i>	Downy birch
<i>Carpinus betulus</i>	Hornbeam
<i>Sorbus aucuparia</i>	Mountain ash
<i>Tilia cordata</i>	Small leaved lime
<i>Castanea sativa</i>	Sweet chestnut
<i>Prunus avium</i>	Wild cherry

**Wildflower and grass seed mixes**

**Wild bird crop**

Cotswold Seeds AB9 One Year Winter Bird Food Survival Mixture (Ref:mixsm or similar)

**Wildflower and grass mix**

Emorsgate Basic General Purpose Meadow Mixture (Ref: EM1 or similar advised following soil testing by landscape contractor)

**Wildflower and grass mix for shade**

Emorsgate Hedgerow Mixture (Ref:EH1 or similar advised following soil testing by landscape contractor)

- Site Boundary
- Land Under Applicants Control
- Perimeter Fence
- Solar Array Extent
- Tracks
- Existing Vegetation\***
- Copse
- Hedges to be gapped up and thickened to 3m minimum and maintained to 2.5 to 3m height
- Existing Hedge to be gapped up and thickened to 5m minimum and maintained to 2.5 to 3m height
- Proposed Planting\*\* and Ecological Enhancements**
- Copse/woodland
- Tree Planting (average of 1 per 6m with naturalistic spacing)
- Woodland Edge Planting
- New Hedge to be minimum 5m wide and maintained at 2.5 to 3m height
- Make good hedge removed for construction, and restore field gateways to original width (with replacement field gate\*\*\*\*)
- Wildflower and Grass Mix
- Wildflower and Grass Mix for Shade
- Field Sympathetically Managed for Farmland Birds
- Barn Owl Box\*\*\*\*
- 4x Bird Boxes\*\*\*\*
- 4x Bat Boxes\*\*\*\*
- 4x Invertebrate Features\*\*\*\*
- Mammal Gates measuring 200mm wide by 300mm high to be installed at 250m intervals within the security fencing\*\*\*\*

client  
**Regener8 Power Ltd**

project title  
**Sedgeford Hall Solar Farm**

drawing title  
**Figure 4.7: Landscape Strategy**

date **03 FEBRUARY 2022** drawn by **MMM**  
drawing number **edp6676\_d020f** checked **TR**  
scale **1:5,000 @ A3** QA **RB**





Looking west along Fring Road and southwestern point of site





View from Fring Road looking north across southern field (foreground) and northern field (background)





Looking northeast along Fring Road from southwestern point of site



Looking northeast along Fring Road site to left





Looking southwest along Fring Road site to right



Looking northeast from Fring Road showing reservoir





Looking northwest from Fring Road showing reservoir





Looking east along Fring Road site to left



Looking west along Fring Road site to right





View from southeast corner of the site





- Site boundary
- Land Under Applicants Control
- Range Rings (at 1km intervals)
- 2km Detailed Study Area
- 1 Photoviewpoint Location
- Zone of Primary Visibility
- Zone of Secondary Visibility
- Public Rights of Way, Cycleways and Access Land**
- Footpath
- Bridleway
- Byway
- National Cycle Routes (Sustrans)
- Peddars' Way and Norfolk Coast Path National Trail
- CRoW act 2000 Access Layer
- Roads**
- A Road
- B Road
- Other
- Residential Properties**
- Glover's Farm
- Adjacent to Hill Plantation
- Red Barn Farm
- Red Barn Farm Cottages
- Inmere Farm
- Screening Considerations**
- Woodland (National Forest Inventory)
- Local Ridgelines Limiting Visibility
- Cumulative Sites**
- Existing: Snettisham Solar Farm

**Regener8 Power Ltd**

project title  
**Sedgeford Hall Solar Farm**

drawing title  
**Figure 4.6: Findings of EDP's Visual Appraisal**

date	27 OCTOBER 2021	drawn by	0Y
drawing number	edp66776_0002c	checked	TR
scale	1:40,000 @ A3	QA	RB



Approximate extent of Site partially obscured by landform,  
to the east, and beyond site boundary vegetation elsewhere



To be viewed at comfortable arm's length.

Approximate extent of Site partially obscured by landform, to the east, and beyond site boundary vegetation elsewhere



Mast on northern Site boundary

to be viewed in conjunction with other sheets



Photomontage EDP 2 - Year 15. Elevated long distance view south from Sedgford Footpath 4/Poodars Way & Norfolk Coast National Trail

Approximate extent of Site partially obscured by landform, to the east, and beyond site boundary vegetation elsewhere



Mast on northern Site boundary

To be reviewed at consultation with AECB





<b>edp</b> Environmental Design Practice 100-102 High Street, Norwich, Norfolk, NR1 1EX Tel: 01603 422222 Email: info@edp.co.uk		<b>Environmental Design Practice Ltd</b> Registered in England Registered Office: 100-102 High Street, Norwich, Norfolk, NR1 1EX Company No: 10121212		<b>Environmental Design Practice Ltd</b> Registered in England Registered Office: 100-102 High Street, Norwich, Norfolk, NR1 1EX Company No: 10121212		<b>Environmental Design Practice Ltd</b> Registered in England Registered Office: 100-102 High Street, Norwich, Norfolk, NR1 1EX Company No: 10121212		<b>Environmental Design Practice Ltd</b> Registered in England Registered Office: 100-102 High Street, Norwich, Norfolk, NR1 1EX Company No: 10121212	
--	--	--	--	--	--	--	--	--	--



	<p>King's Lynn &amp; West Norfolk Borough Council</p>	<p>Site Location: <b>22/00704/FM</b>        Address: <b>100-102, King's Lynn, Norfolk, PE30 1AA</b>        Planning: <b>22/00704/FM</b></p>	<p>Project Name: <b>22/00704/FM</b>        Date of Issue: <b>15/01/2022</b>        Version: <b>1.0</b></p>	<p>Author: <b>22/00704/FM</b>        Date: <b>15/01/2022</b>        Version: <b>1.0</b></p>	<p>Project: <b>22/00704/FM</b>        Date: <b>15/01/2022</b>        Version: <b>1.0</b></p>	<p>Project: <b>22/00704/FM</b>        Date: <b>15/01/2022</b>        Version: <b>1.0</b></p>	<p>Project: <b>22/00704/FM</b>        Date: <b>15/01/2022</b>        Version: <b>1.0</b></p>	<p>Project: <b>22/00704/FM</b>        Date: <b>15/01/2022</b>        Version: <b>1.0</b></p>	<p>Project: <b>22/00704/FM</b>        Date: <b>15/01/2022</b>        Version: <b>1.0</b></p>
--	---	---	--	---	--	--	--	--	--



<b>edp</b>	Environmental Design Practice	100, High Street, Norwich, Norfolk, NR1 1AA	01603 250000	www.edp.co.uk	01603 250000	www.edp.co.uk	01603 250000	www.edp.co.uk
<b>edp</b>	Environmental Design Practice	100, High Street, Norwich, Norfolk, NR1 1AA	01603 250000	www.edp.co.uk	01603 250000	www.edp.co.uk	01603 250000	www.edp.co.uk







	<p>Site Location: <b>WYTHE GREEN</b>        Site Ref: <b>WYTHE GREEN 1385</b>        Project: <b>WYTHE GREEN</b>        Date: <b>13/08/2022</b></p>	<p>Project Name: <b>WYTHE GREEN</b>        Site Ref: <b>WYTHE GREEN 1385</b>        Project: <b>WYTHE GREEN</b>        Date: <b>13/08/2022</b></p>	<p>Project Name: <b>WYTHE GREEN</b>        Site Ref: <b>WYTHE GREEN 1385</b>        Project: <b>WYTHE GREEN</b>        Date: <b>13/08/2022</b></p>	<p>Project Name: <b>WYTHE GREEN</b>        Site Ref: <b>WYTHE GREEN 1385</b>        Project: <b>WYTHE GREEN</b>        Date: <b>13/08/2022</b></p>	<p>Project Name: <b>WYTHE GREEN</b>        Site Ref: <b>WYTHE GREEN 1385</b>        Project: <b>WYTHE GREEN</b>        Date: <b>13/08/2022</b></p>	<p>Project Name: <b>WYTHE GREEN</b>        Site Ref: <b>WYTHE GREEN 1385</b>        Project: <b>WYTHE GREEN</b>        Date: <b>13/08/2022</b></p>
--	---	--	--	--	--	--

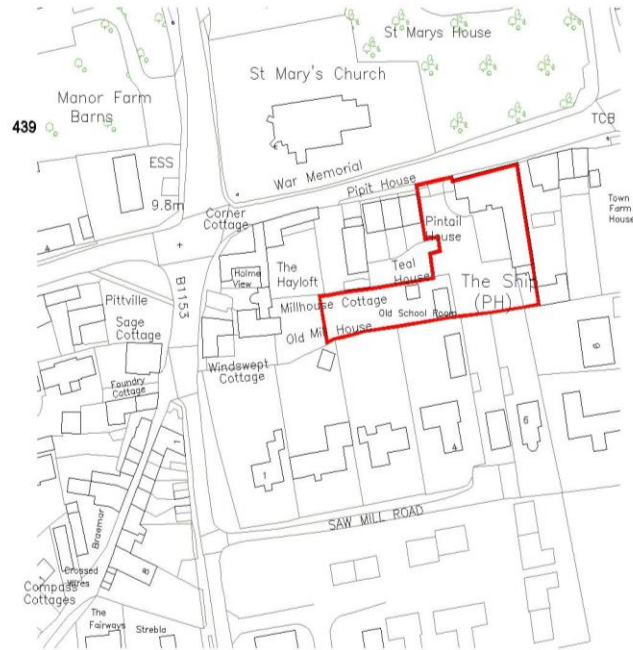


	22/00704/FM Application for a Full Planning Permission for a Farmhouse and associated outbuildings and driveway at the site of the former farm buildings, 100m north of the A149, near to the village of Littleton, King's Lynn & West Norfolk.	22/00704/FM Application for a Full Planning Permission for a Farmhouse and associated outbuildings and driveway at the site of the former farm buildings, 100m north of the A149, near to the village of Littleton, King's Lynn & West Norfolk.	22/00704/FM Application for a Full Planning Permission for a Farmhouse and associated outbuildings and driveway at the site of the former farm buildings, 100m north of the A149, near to the village of Littleton, King's Lynn & West Norfolk.	22/00704/FM Application for a Full Planning Permission for a Farmhouse and associated outbuildings and driveway at the site of the former farm buildings, 100m north of the A149, near to the village of Littleton, King's Lynn & West Norfolk.
	22/00704/FM Application for a Full Planning Permission for a Farmhouse and associated outbuildings and driveway at the site of the former farm buildings, 100m north of the A149, near to the village of Littleton, King's Lynn & West Norfolk.	22/00704/FM Application for a Full Planning Permission for a Farmhouse and associated outbuildings and driveway at the site of the former farm buildings, 100m north of the A149, near to the village of Littleton, King's Lynn & West Norfolk.	22/00704/FM Application for a Full Planning Permission for a Farmhouse and associated outbuildings and driveway at the site of the former farm buildings, 100m north of the A149, near to the village of Littleton, King's Lynn & West Norfolk.	22/00704/FM Application for a Full Planning Permission for a Farmhouse and associated outbuildings and driveway at the site of the former farm buildings, 100m north of the A149, near to the village of Littleton, King's Lynn & West Norfolk.



22/01430/F





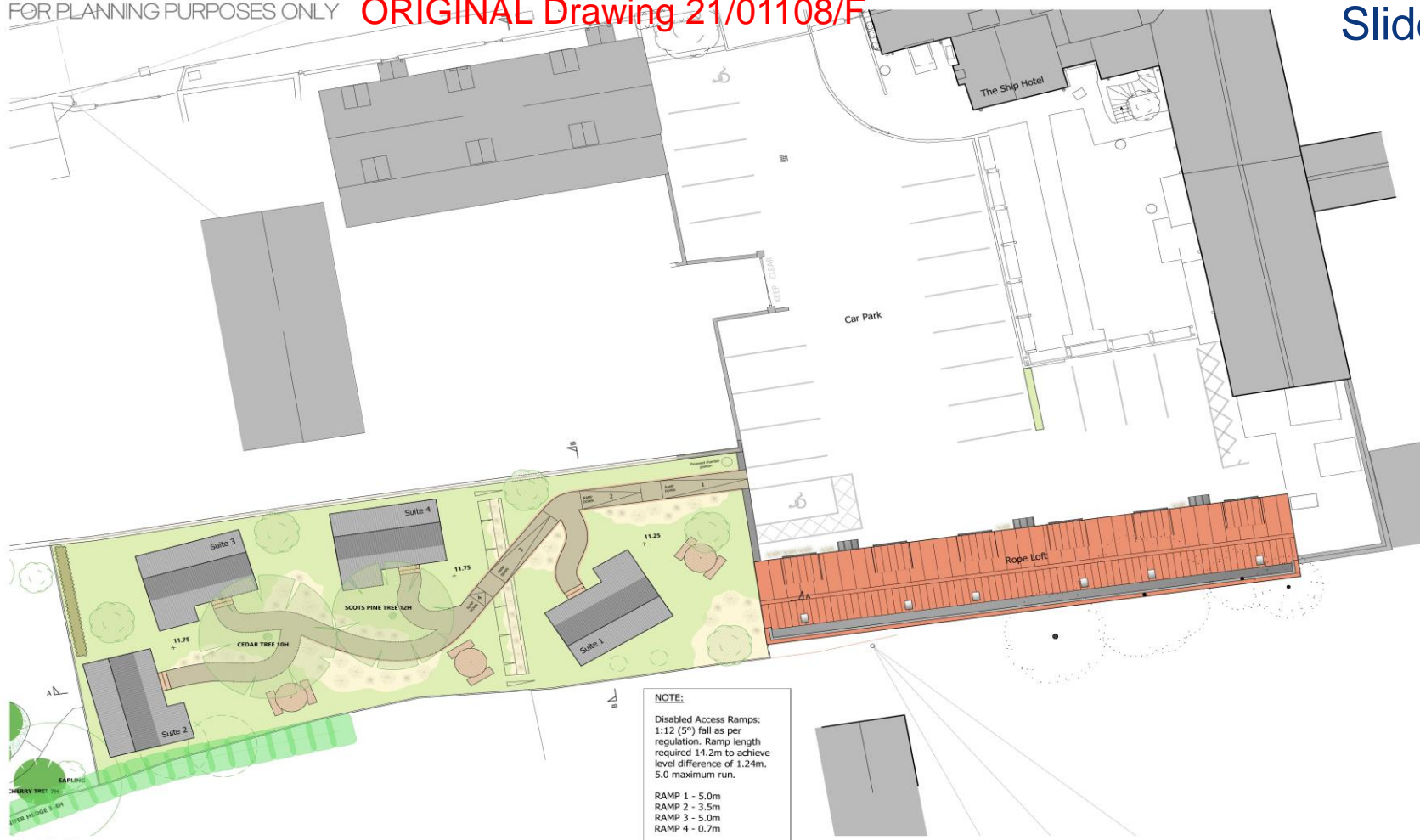
ACS Architectural Ltd  
20 Westgate, Hunstanton, Norfolk. PE30 6AL  
Tel: 01465 63212 Email: info@acs-architectural.co.uk

The Ship Hotel  
Main Road  
Brancaster  
Norfolk  
PE31 8AP

Location Plan

Scale: 1:1250





**NOTE:**

Disabled Access Ramps:  
 1:12 (5°) fall as per regulation. Ramp length required 14.2m to achieve level difference of 1.24m, 5.0 maximum run.

RAMP 1 - 5.0m  
 RAMP 2 - 3.5m  
 RAMP 3 - 5.0m  
 RAMP 4 - 0.7m

**Disclaimer**

1. The copyright in this drawing is the property of ACS Architectural Ltd and may not be copied, loaned or re-issued without consent.

2. Measurements to be checked on site by the Contractor prior to commencement of works and any discrepancies brought to the attention of ACS Architectural Ltd.

Revision

Revision	Description



ACS Architectural Ltd  
 30 Westgate, Hunstanton, Norfolk, PE26 5AL  
 Tel: 01263 623232 Email: info@acs-architectural.co.uk

Project:

Proposed Hotel Accommodation  
 The Ship Hotel  
 Main Road  
 Brancaster  
 Norfolk  
 PE31 8AP

Drawing Title:

Proposed Site Plan

Note: Paper size 941 x 594mm

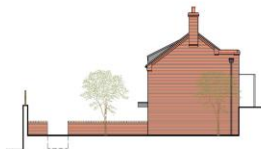
Scale: 1:100 @ 91 x 54mm  
 Date: January 2021  
 Drawn: N/A

Drawing No.:

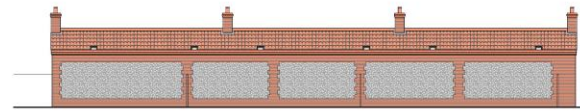




North Elevation 1:100



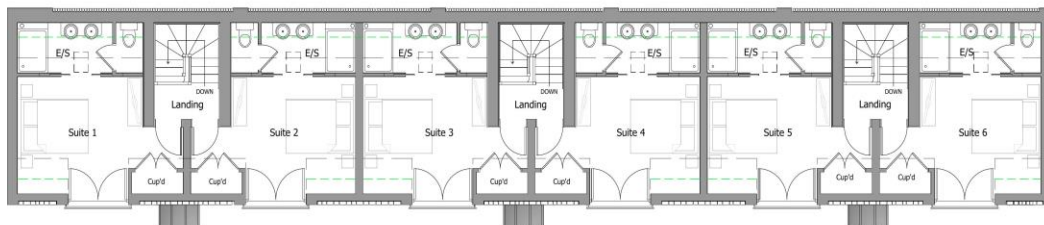
West Elevation



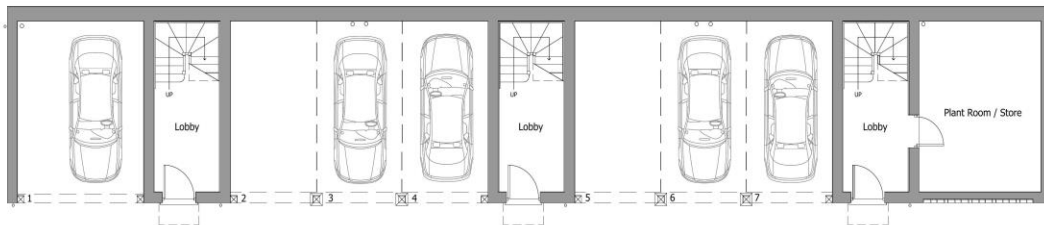
South Elevation



East Elevation



First Floor Plan 1:50



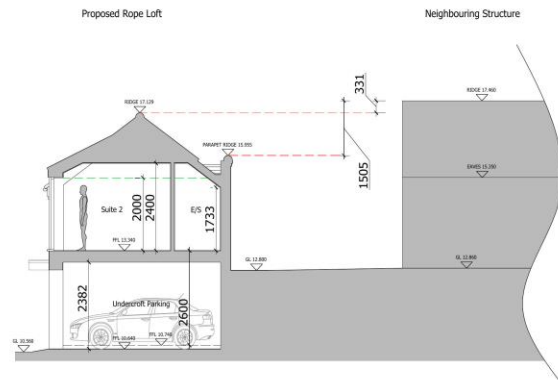
Ground Floor Plan 1:50

**Materials**

- Natural Clay Pantiles.
- Red facing brickwork with chalk infill (north).
- Red facing brickwork with flint infill (south).
- Painted timber windows and doors.
- Black downpipes and gutters.
- 500mm high woven willow fencing atop north boundary wall.

Disclaimer:  
 1. The copyright in this drawing is the property of ACS Architectural. It is issued for the limited control or use of the client.  
 2. All work elements to be checked on site by the Contractor prior to commencement of work, and any discrepancies brought to the attention of ACS Architectural.

Position



Typical Section 1:50



Project:  
 Proposed Hotel Accommodation  
 The Ship Hotel  
 Main Road  
 Brancaster  
 Norfolk  
 PE31 8AP

Drawing Title:  
 Proposed Floor Plans, Elevations and Section

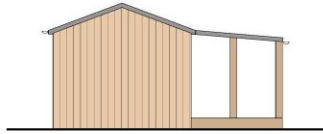
Note: Paper size 1141 x 594mm

Scale: 1:50, 1:100, 1:200, 1:500, 1:1000  
 Date: March 2023  
 Drawn: NAB

Drawing No.:



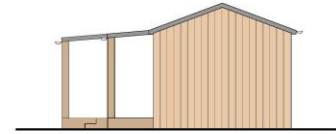
Front Elevation 1:100



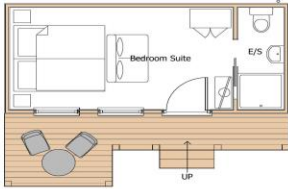
Side Elevation 1



Rear Elevation



Side Elevation 2



Ground Floor Plan 1:50



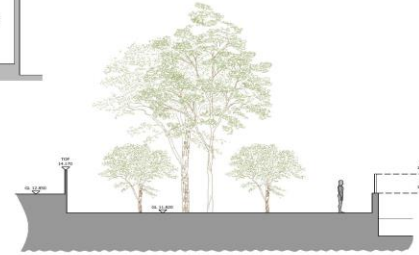
Typical Section 1:50



Typical Section 1:50

**Materials**

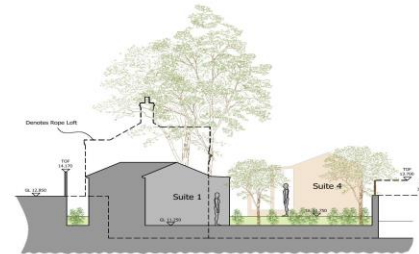
- Natural timber cladding.
- Galvanized steel downpipes and gutters.
- Corrugated sheet roofing
- Timber sleeps to form paths and retaining walls.
- Natural timber windows and doors.
- 500mm high woven willow fencing atop north boundary wall.



Existing Part Site Section B-B 1:100



Proposed Site Section A-A 1:100



Proposed Part Site Section B-B 1:100

Disclaimer:  
 1. The copyright in this drawing is the property of ACS Architectural Ltd and must not be copied, loaned or reissued without consent.  
 2. Measurements to be checked on site by the Contractor prior to commencement of works and any discrepancies brought to the attention of ACS Architectural Ltd.

Revision



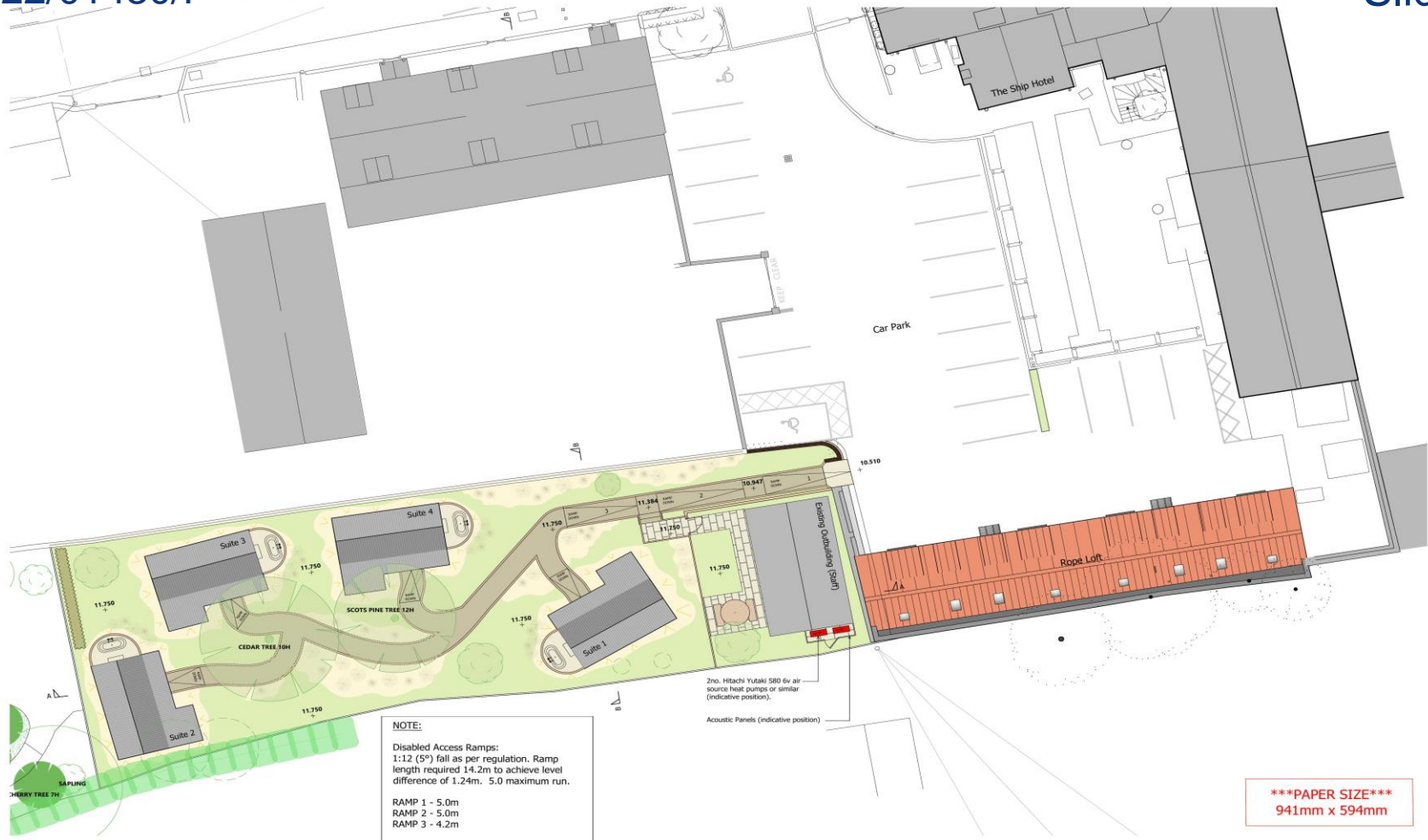
ACS Architectural Ltd  
 20 Westgate, Hunstanton, Norfolk PE30 5AL  
 Tel: 01485 82020 Email: info@acs-architectural.co.uk

Project:  
 Proposed Hotel Accommodation  
 The Ship Hotel  
 Main Road  
 Brancaster  
 Norfolk  
 PE31 8AP

Drawing Title:  
 'Surfers Huts'  
 Proposed Floorplan, Elevations and Sections

Scale: 1:50, 1:100 @A1  
 Date: March 2023  
 Drawn: NAB

Drawing No:



**NOTE:**  
 Disabled Access Ramps:  
 1:12 (5°) fall as per regulation. Ramp length required 14.2m to achieve level difference of 1.24m. 5.0 maximum run.  
 RAMP 1 - 5.0m  
 RAMP 2 - 5.0m  
 RAMP 3 - 4.2m

2no. Hitachi Yutaki S80 6v air source heat pumps or similar (indicative position).  
 Acoustic Panels (indicative position)

\*\*\*PAPER SIZE\*\*\*  
 941mm x 594mm



A. UNIT 3 Poppyfields Retail Park  
 Poppyfields Drive  
 Southam  
 PE31 7RE  
 T. 01455 532112  
 E. info@aco-architectural.co.uk

**Project**  
 Proposed Hotel Accommodation  
 The Ship Hotel  
 Main Road  
 Brancaster  
 PE31 8AP

**Title**  
 Proposed Site Plan

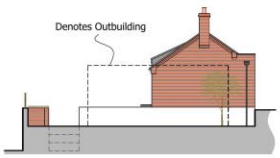
Date	Over	Drawn	Checked	Revision	Rev.
01.03.21				06.08.22	***

**Drawing No.**  
403/18/11 F

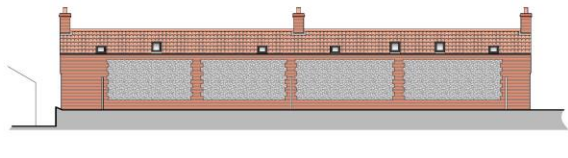




North Elevation 1:100  
0 2 5.0m



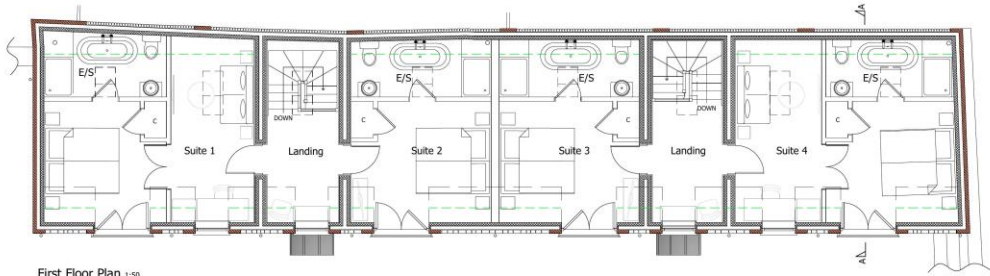
West Elevation



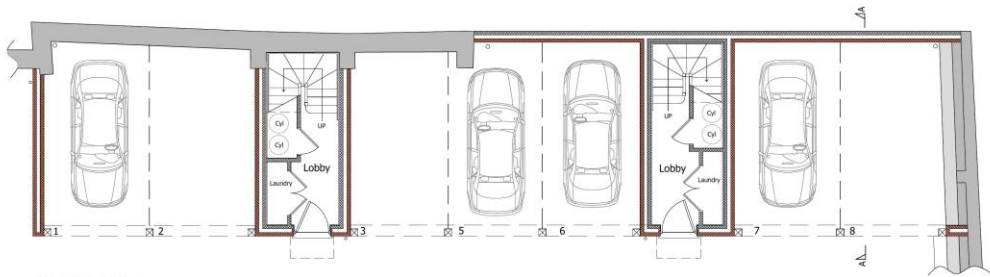
South Elevation



East Elevation



First Floor Plan 1:50  
0 1 2.5m

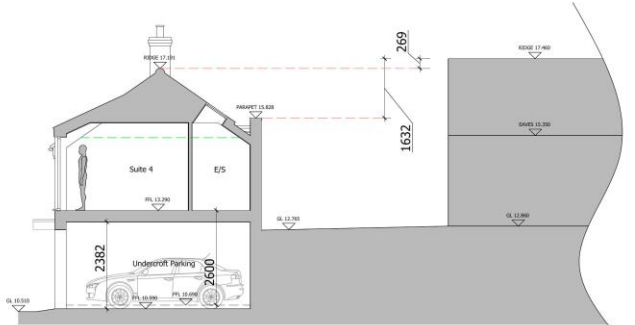


Ground Floor Plan 1:50  
0 1 2.5m

**Materials**

- Natural Clay Pantiles.
- Red facing brickwork with chalk infill (north).
- Red facing brickwork with flint infill (south).
- Painted timber windows and doors.
- Black downpipes and gutters.
- 500mm high woven willow fencing atop north boundary wall.

\*\*\*PAPER SIZE\*\*\*  
1041mm x 594mm



Section A-A 1:50  
0 1 2.5m



UNIT 3 Poppyfields Rural Park  
Poppyfields Drive  
Southam  
PE21 7JH  
01495 522113  
info@acs-architectural.co.uk

**Project**  
Proposed Hotel Accommodation  
The Ship Hotel  
Main Road  
Brancaster  
PE21 6AF

**Title**  
Proposed Floor Plans, Elevations  
and Section

**Date** **Paper**  
01.03.21 08.08.22  
01.03.21 08.08.22

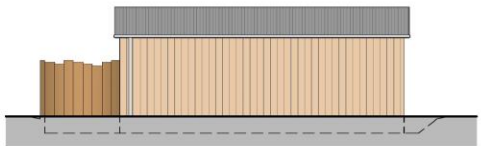
**Drawing No.** **Rev.**  
403/18/10 E



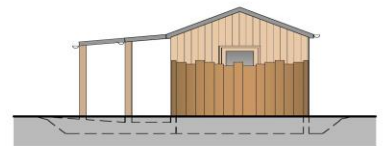
Front Elevation & Part Section 1:50  
0 1 2.5m



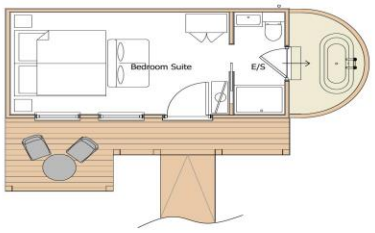
Side Elevation 1 & Part Section



Rear Elevation



Side Elevation 2



Ground Floor Plan 1:50  
0 1 2.5m



Typical Section 1:50  
0 1 2.5m



Typical Section 1:50  
0 1 2.5m

**Proposed Materials**

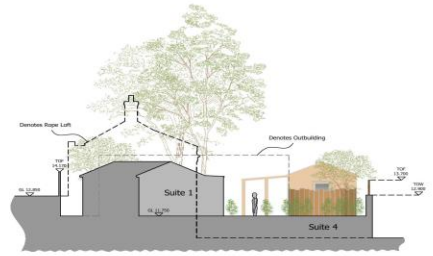
- Natural timber cladding.
- Corrugated sheet roofing
- Natural timber windows and doors.
- Galvanized steel downpipes and gutters.
- Timber sleeps to form paths and retaining walls.
- 500mm high woven willow fencing atop north boundary wall.



Existing Site Section B-B 1:100  
0 1 5m



Proposed Site Section A-A 1:100  
0 1 5m



Proposed Site Section B-B 1:100  
0 1 5m



UNIT 3 Poppyfields Retail Park  
Poppyfields Drive  
Snettisham  
PE33 7PW  
T: 01485 532112  
E: info@acs-architectural.co.uk

**Project**  
Proposed Hotel Accommodation  
The Ship Hotel  
Main Road  
Brancaster  
PE33 8AP

**Title**  
"Surfers Hubs" - Proposed Plans,  
Elevations & Sections

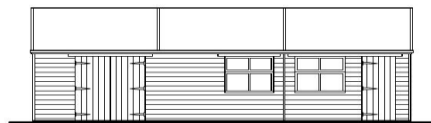
**Date** **Paper**  
01.03.21 A1  
29.07.22

**Drawing No.** **Rev.**  
403/18/14 F

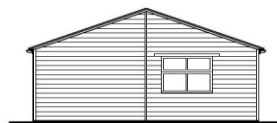


North Elevation 1:100

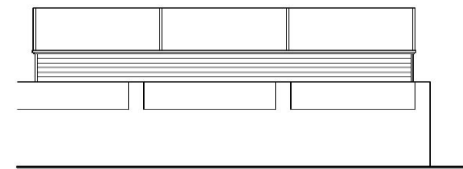
0 1 5m



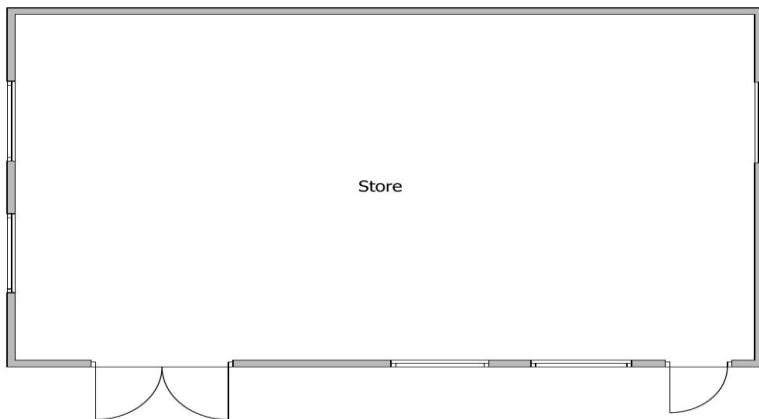
West Elevation



South Elevation



East Elevation



Store

Ground Floor Plan 1:50

0 1 2.5m



ACS ARCHITECTURAL

- A. UNIT 3 Poppyfields Retail Park  
Poppyfields Drive  
Snettisham  
PE31 7FR
- T. 01485 532112
- E. info@acs-architectural.co.uk

**Project**

Proposed Hotel Accommodation  
The Ship Hotel  
Main Road  
Brancaaster  
PE31 8AP

**Title**

Existing Store Floor Plan and  
Elevations

**Date**

(First Issued) 22.09.22 (Last Revision) 00.00.00

**Paper**

A3

**Drawing No.**

403/18/16

**Rev.**

0





09/07/2011

Looking southeast along Main Road



09/07/2011

Looking south across Main Road





09/07/2011

Looking southwest along Main Road





Northern and eastern elevations of existing outbuilding to be retained



View from car park southwest to 'surfer hut' location





View from car park west





View from car park northwest

09/07/2011



09/07/2011

View from car park north





View from car park south





View from car park south





09/07/2011

View from 'surfer hut' area looking northwest





View from 'surfer hut' area looking north





09/07/2011

View from 'surfer hut' area looking northeast



09/07/2011

View from 'surfer hut' area looking east showing western elevation of existing outbuilding to be retained





View from 'surfer hut' area looking south





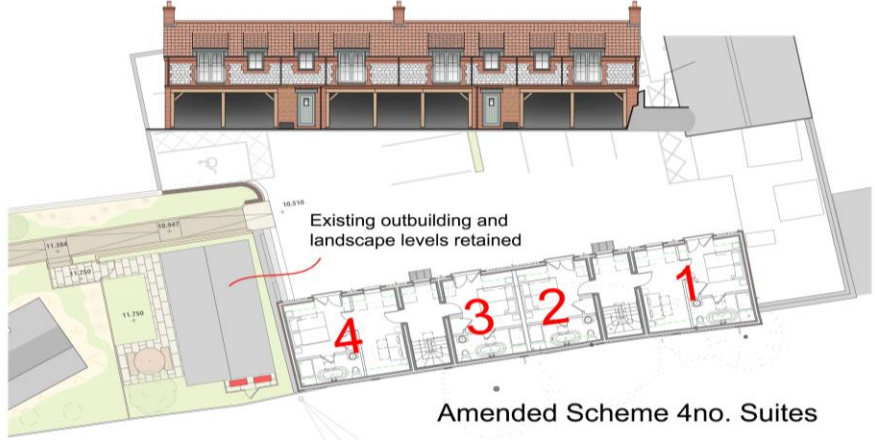
09/07/2011

View from 'surfer hut' area looking west

Speaker  
Chris Borrman



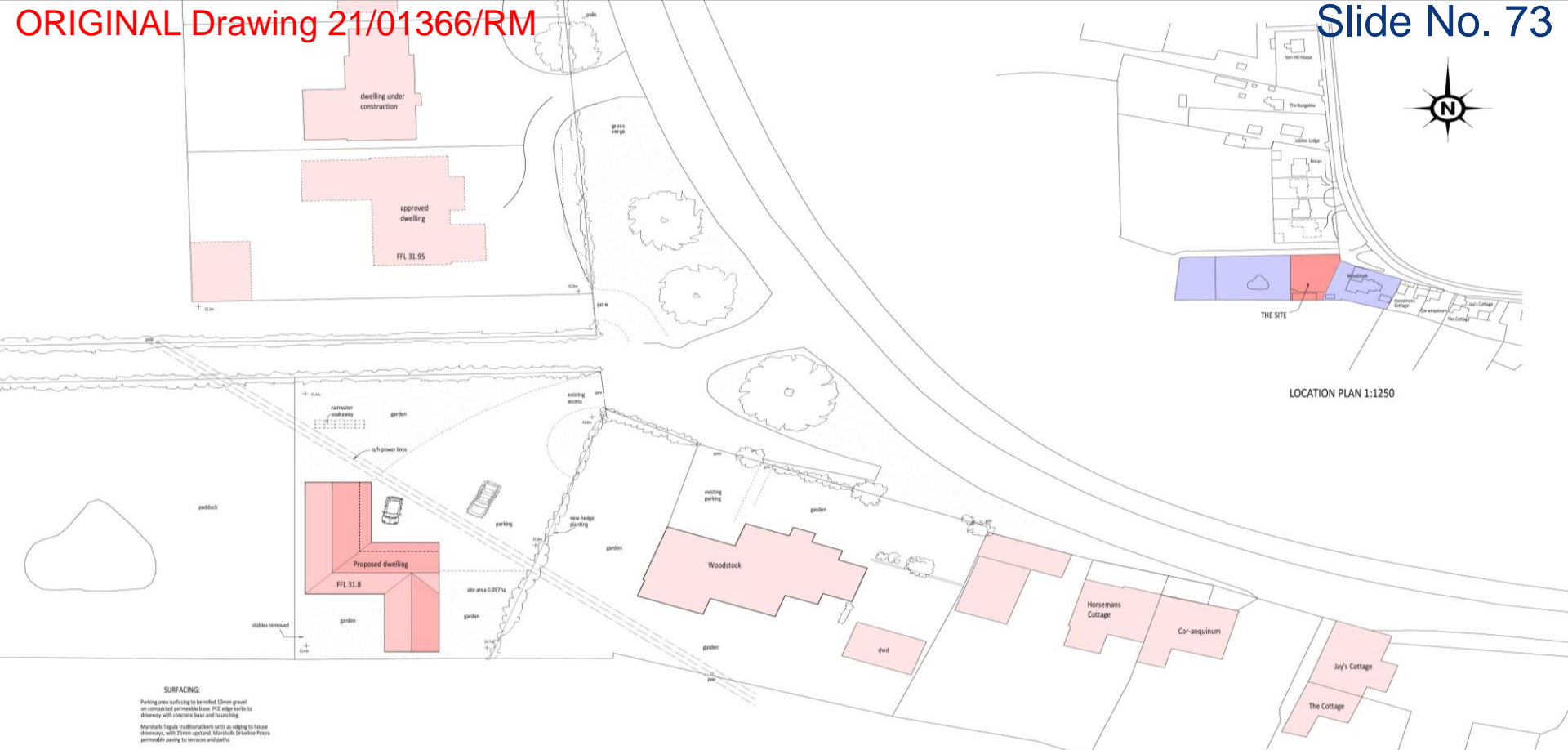






22/01092/F





LOCATION PLAN 1:1250

SITE PLAN 1:200



**SURFACING:**  
 Parking area surfacing to be installed 150mm gravel on compacted permeable base, PCC edge kerbs to driveway with concrete base and hatching.  
 Mainroads Tarmac traditional tarmac with an edging to house driveways, with 25mm upstand. Marshalls Driveline Pavers permeable paving to terraces and paths.  
 Surface water from the impermeable roof areas will be taken to a soakaway not exceeding 2.0m in depth, to BS10575 SWS. Position of soakaway is shown on the site plan.  
 The volume of soakaway required = 1.6m<sup>2</sup> x 20mm = 3.2m<sup>3</sup>. This will be provided by using 20 Polystone cells, 2 cells high x 10 x 3.0m<sup>3</sup> volume. Soakaways to be constructed in accordance with Polystone specification.  
 Proposed hedge planting comprising an even mix of the following bare root plants in double staggered row at spacing 4 plants per metre, approx 750-800mm tall:  
 Acer campestre (Field maple)  
 Carpinus betulus (Hornbeam)  
 Crataegus monogyna (Common white hawthorn)  
 Alnus glutinosa (Alder)  
 Corylus Avellana (Hazel)  
 Prunus Spinosa (Blackthorn)  
 Rosa Canina (Dog Rose)

Original drawing created using DWG2002 software. Original drawing on A3. Drawing title sheet

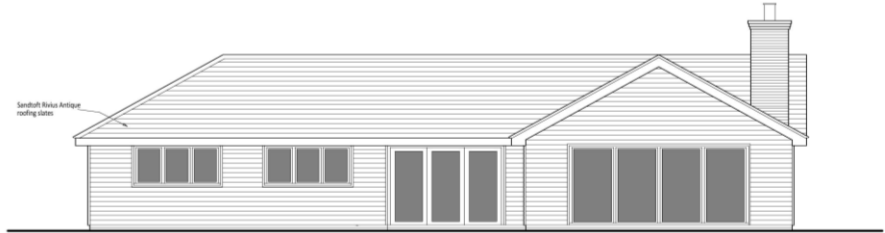
**MIKE HASTINGS Building Design**  
 58 Sluice Road, Denver,  
 Downham Market  
 Norfolk PE36 0DY  
 Tel: 01366 388715  
 e-mail: mail@mikehastings.co.uk

**PROPOSED DWELLING**  
 WEST OF WOODSTOCK  
 MILL HILL ROAD  
 BOUGHTON  
 PE33 9AE

Drawn	Issue 001
14032	



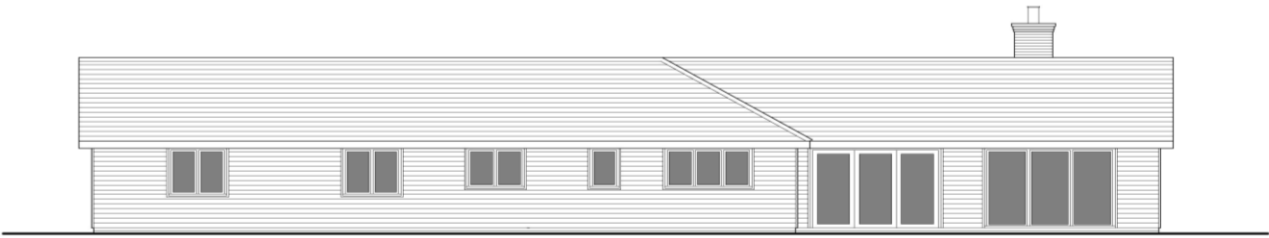
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

Original drawing created using AutoCAD software. Original drawing size A1. Drawing scale 1:10.



PROPOSED DWELLING  
 WEST OF WOODSTOCK  
 MILL HILL ROAD  
 BOUGHTON  
 PE33 9AE

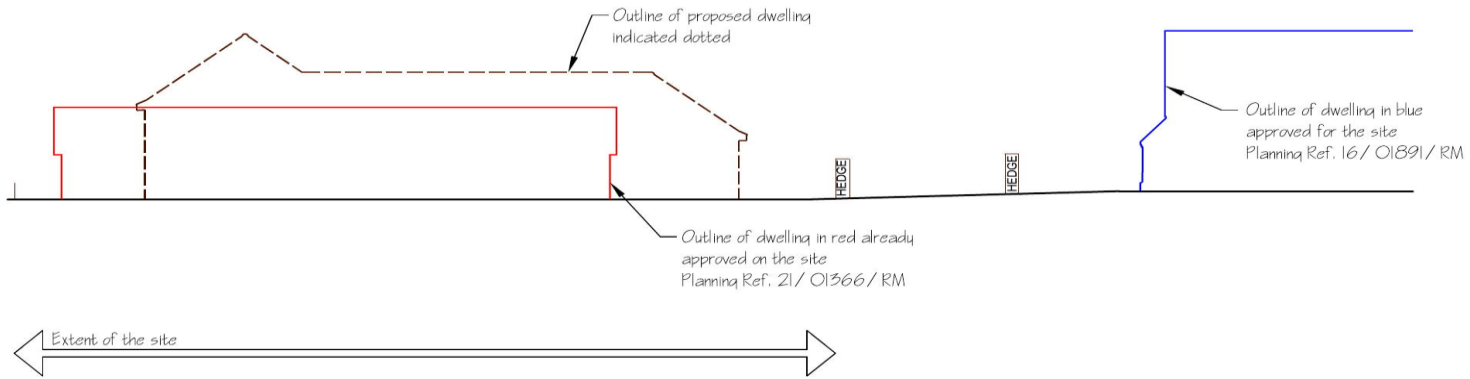
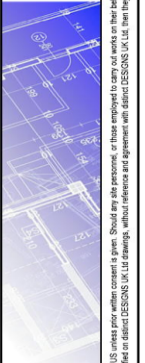
MIKE HASTINGS Building Design  
 58 Sluice Road, Denver,  
 Downham Market  
 Norfolk PE38 0DY  
 Tel: 01366 388715  
 e-mail: mail@mikehastings.co.uk

Drawn	Date 2021	
14034		









DETAILED SITE SECTION DRAWING  
INDICATING VARIOUS DWELLING OUTLINES

REV	DATE	DESCRIPTION
<small>DO NOT SCALE THE DRAWING TO FIT. DIMENSIONS ONLY. This drawing is the copyright of distinct DESIGNS UK Ltd. Any reproduction without the written consent of distinct DESIGNS UK Ltd. is prohibited. MODIFICATIONS to be made using an ORIGINAL DIGITAL MEDIA.</small>		
PROJECT No	22/966	RESOLUTION
DRAWING No	(GA)5000	RESOLUTION
DATE	23/10/22	STATUS
PREPARED BY	DR	PRELIMINARY

CLIENT: MR. C. BOND  
 PROJECT: PROPOSED NEW RESIDENTIAL DWELLING  
 TITLE: DETAILED SITE SECTION DRAWING INDICATING APPROVED AND PROPOSED DWELLING OUTLINES

Construction should ONLY proceed from drawings issued under CONSTRUCTION STATUS unless prior written consent is given. Should any site personnel, or those employed to carry out works on their behalf, choose alternative materials, components or specifications, or make any 'significant' variations to those specified or detailed, distinct DESIGNS UK Ltd. accepts no liability for any errors or omissions in the drawings or specifications, or for any damage to the site or any other property.





View of the site west.





View of the donor dwelling southwest.





View to the northwest





Views south down Mill Hill Road.





View north up Mill Hill Road



View immediate northwest of the site





View looking east to donor dwelling, Woodstock.





View northeast to access onto the site.





View from site south/southwest.





View from site southwest.



View from site east.





View from site northwest.





View from the field/countryside looking east to the site.



Wider view from the field/countryside looking east to the site and surrounding.



Speaker  
Simon Lemmon



**From:** Jane Forde [REDACTED]  
**Sent:** 29 July 2022 09:54  
**To:** Planning EConsultation <planning.econsultation@West-Norfolk.gov.uk>  
**Cc:** Connor Small [REDACTED]  
**Subject:** FW: Planning Application 22/01092/F

Conservation Team Comments

No objections.

Although this scheme is much larger than the previously approved scheme, it is set well back and the materials are a great improvement and will cause no harm to the character of the conservation area.

Please condition a sample panel.

Kind regards

**Jane Forder**  
Conservation Support Officer  
Borough Council of King's Lynn and West Norfolk

Please note: My working days are Tuesday to Friday and I am in the office on alternate days.

[REDACTED]

---

**From:** Steven King [REDACTED]



**Sent:** 26 July 2022 13:42

**To:** Jane Forde [REDACTED]

**Subject:** Fwd: Planning Application 22/01092/F

Steven King

Conservation Officer

Borough Council of King's Lynn and West Norfolk

I am currently working from home and the office on alternate days, but I am replying to emails as quickly as possible

Get [Outlook](#) for iOS

---

**From:** [Planning.econsultation@west-norfolk.gov.uk](mailto:Planning.econsultation@west-norfolk.gov.uk) <[Planning.econsultation@west-norfolk.gov.uk](mailto:Planning.econsultation@west-norfolk.gov.uk)>

**Sent:** Tuesday, July 26, 2022 9:33:02 AM

**To:** Steven King [REDACTED]

**Subject:** Planning Application 22/01092/F

Please see attached consultation document

22/00892/F



SITE LOCATION PLAN  
1:1250 @ A4



Denning, 7, Marsh Lane, Burnham Norton, Norfolk, PE31 8DS



Site Plan shows area bounded by: 582592.07, 344054.87, 582733.5, 344196.29 (at a scale of 1:1250), OSGridRef: TFR2664412. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

Produced on 14th Jan 2021 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. (Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2021. Supplied by www.buyaplan.co.uk a licensed Ordnance Survey partner (100053143). Unique plan reference: 400590186-184C08

Ordnance Survey and the OS Symbol are registered trademarks of Ordnance Survey, the national mapping agency of Great Britain. Buy A Plan logo, pdf design and the www.buyaplan.co.uk website are Copyright © Pass Inc Ltd 2021

DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	SITE LOCATION PLAN	
CHECKED	SCALE	@ A4 1:1250	DATE	Jan 21	NO 2028 P 201 REV P1





ORIGINAL Drawing 21/00122/F

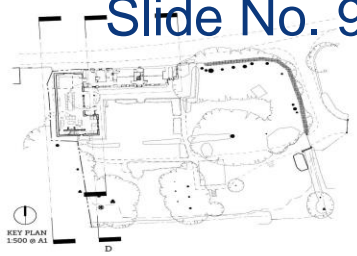


SITE/BLOCK PLAN  
1:200 @ A1

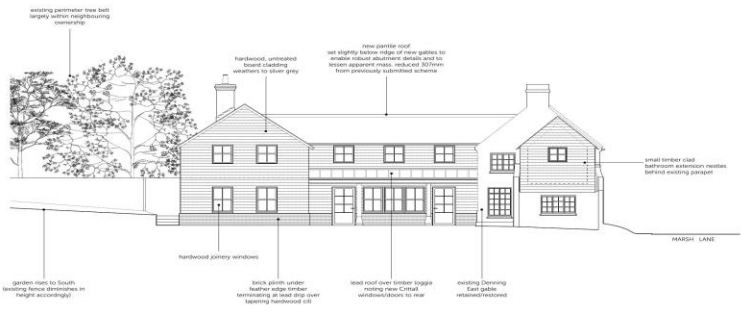
DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE  
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	14.01.21	Issue to Client for information
P2	21.01.21	Externals
P3	03.08.21	Final design & increased setback to North and updated.
PA	04.08.21	RESUBMISSION

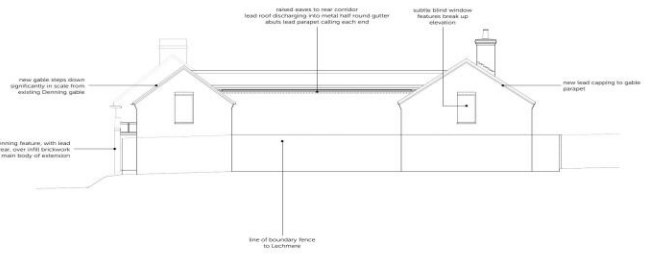
DRAWN	PROJECT	TITLE
	DENNING, Burnham Norton Extension & Alterations	SITE/BLOCK PLAN
CHECKED	SCALE: (BA1) 1:200 (BA2) 1:100 DATE: Jun 21	NO: 2028 P 200 REV: P4



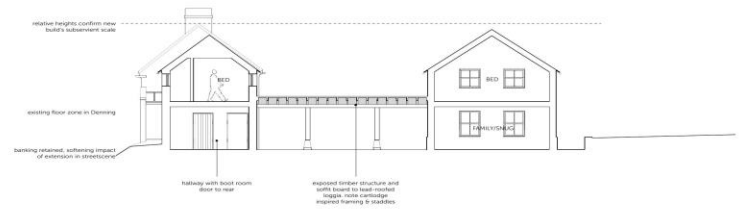
KEY PLAN  
1:500 @ A1



EAST ELEVATION  
1:100 @ A1



WEST ELEVATION  
1:100 @ A1



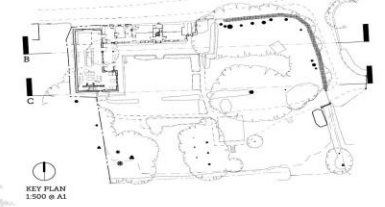
SECTION D THRO' LOGGIA FACING EAST  
1:100 @ A1



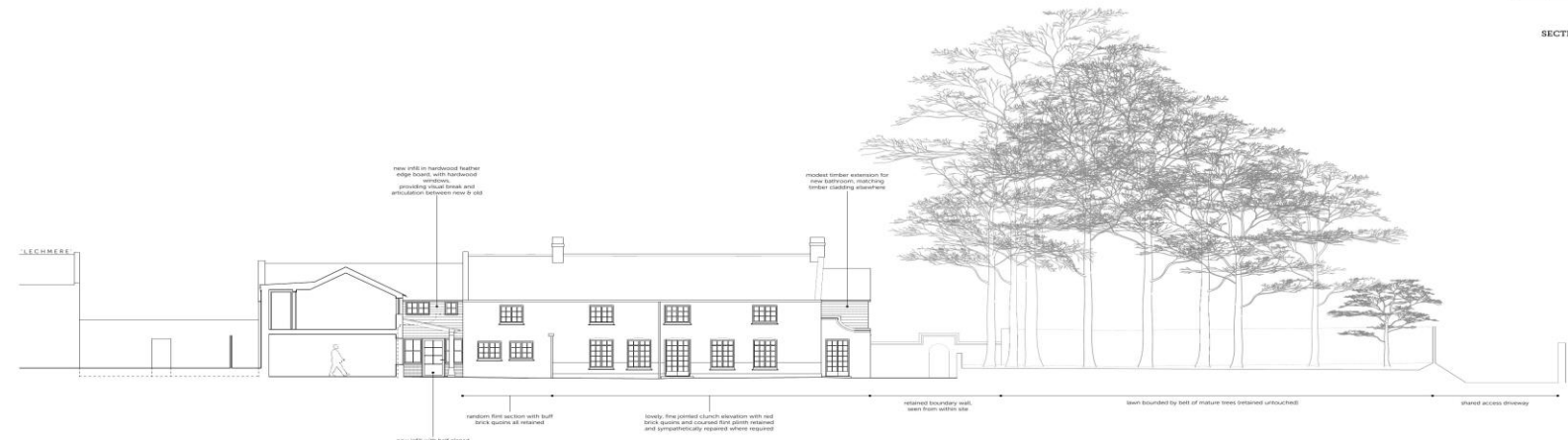
DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE  
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	14.12.20	Issue for Client for information
P2	18.12.20	Window amendments
P3	13.01.21	Further notes
P4	04.02.21	Window amendments
P5	09.02.21	Height of stone-cladding block and central block reduced.
P6	09.06.21	REVISIONS

DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	EAST & WEST ELEVATIONS, SECTION D
CHECKED	SCALE	0.4m = 1:100 (0.4m = 20')	DATE	Ph 20
			NO	2028 P 112 REV P6



SECTION B FACING NORTH, THRO' LOGGIA  
1:100 @ A1



SOUTH ELEVATION / SITE SECTION C  
1:100 @ A1

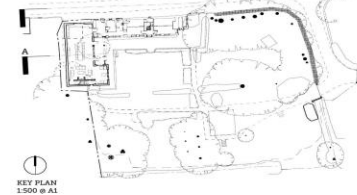


DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE  
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	14.12.20	Issue to Client for information
P2	19.12.20	Window amendments
P3	13.01.21	Window alterations
P4	09.01.21	South shading removed
P5	06.02.21	Final window schedule principal bedroom
P6	05.03.21	Final window schedule bedroom
P7	03.06.21	General section roof profile redesigned to suit lower roof to stream drainage
P8	04.06.21	RELIQUED

DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	SOUTH ELEVATION, SECTION B
CHECKED	SCALE	①A1: 1:100 (①A2: 1:200)	DATE	Ph 20
			NO	202B P 111 REV P8
	COWPER GRIFFITH ARCHITECTS LLP 15 HIGH STREET WHITTFIELD ROAD CARBRIDGE CB22 4ET www.cowpergriffith.co.uk			





KEY PLAN  
1:500 @ A1

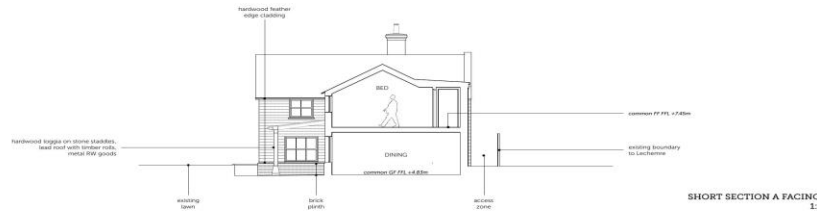
ORIGINAL Drawing 21/00122/F



- existing church boundary wall under ground coping to neighbouring plot
- access drive shared with no. 3
- new gravel bank retained unflushed
- new paving replacing existing existing retaining stone bounded fence
- existing mature tree grouping retained unflushed
- existing existing field turf wall with predominantly red brick detail retained
- short extension of new timber clad extension above retained parapet
- existing church with red brick to external in stone with Corbel windows, all retained/unflushed
- clamping details: field turf with red brick details - retained
- extension in hardwoods red brick: Flanking stone, lime plaster and new joinery windows
- neighbouring boundary wall in English Tread, Pattern brick
- Technical neighbouring property

new profile roof under clay ridge  
NOTE: materials lower ridge than existing and eavesline reduced 300mm from previous version

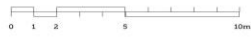
NORTH (STREET) ELEVATION  
1:100 @ A1



DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE  
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	14.12.20	Issue to Client for information
P2	18.12.20	Window amendments
P3	22.01.21	Window materials
P4	20.01.21	Window to be made structural
P5	21.01.21	Extension details checked
P6	24.01.21	Start to form external detail
P7	05.06.21	East boundary moved to stone bridge
P8	05.06.21	Extension ridge height retained. Central stone roof profile raised/lower ridge, see 30kg path
P9	04.08.21	RESUBMISSION

DRAWN	PROJECT	TITLE
	DENNING, Burnham Norton Extension & Alterations	NORTH ELEVATION, SECTION A
CHECKED	SCALE @ A1: 1:100 (8A1: 1:200) DATE The 20	NO 2028 P 110 REV P9





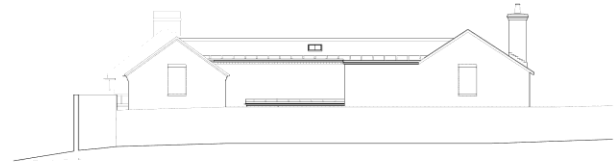
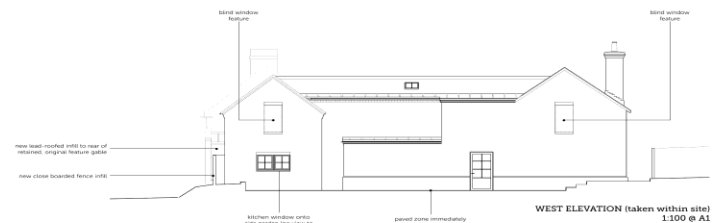
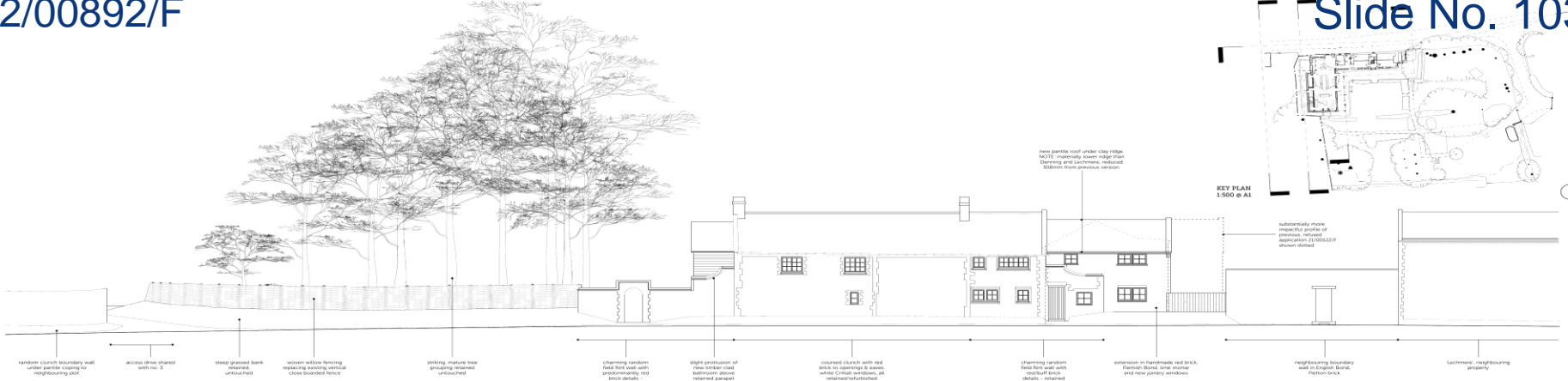
DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE  
 THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	14.01.21	Issue for Client for information
P2	21.01.21	Externals
P3	23.08.21	Final design & increased setback to North end updated
P4	04.08.21	RESUBMISSION
P5	10.05.22	Coordination with scheme redesign

DRAWN	PROJECT	DENNING, Burnham Norton	EXTENSION & ALTERATIONS	TITLE	SITE/BLOCK PLAN
CHECKED	SCALE	A4: 1:200	A3: 1:100	DATE	30 Jun 21
				NO	2028 P 200 REV P5



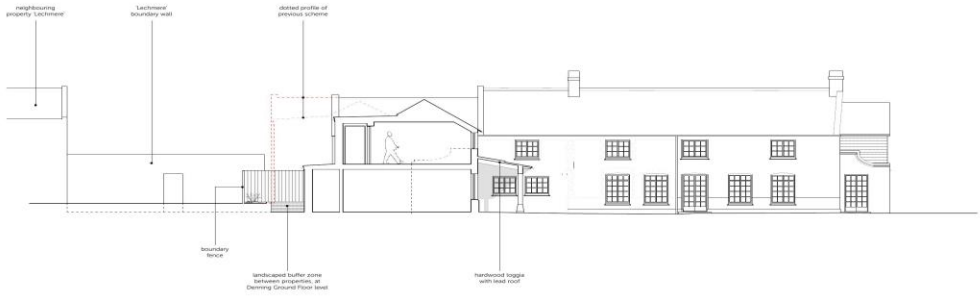
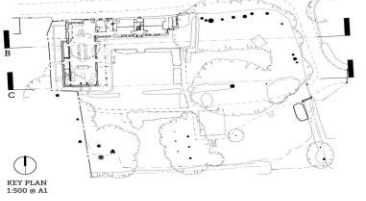




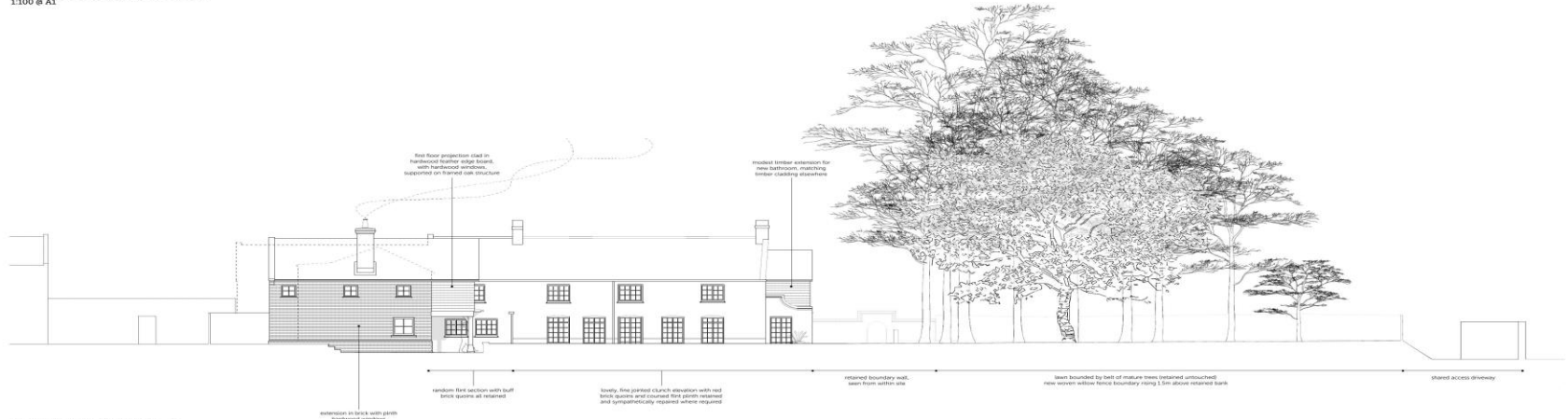
DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	14.12.20	Issue for Client for information
P2	18.12.20	Window amples
P3	23.01.21	Window elevation
P4	20.01.21	Window to hedge amended
P5	23.01.21	Extension section revised
P6	24.01.21	Start on 18th window detail
P7	05.05.21	East boundary moved to stone bridge
P8	23.08.21	Extension ridge height reduced. Central element roof profile revised, lower ridge, use 20kg pitch
P9	04.08.21	REGISTRATION
P10	05.02.22	Scheme release for planning

DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	NORTH EAST & WEST ELEVATIONS
CHECKED	SCALE	A4: 1:100 (A3: 1:200)	DATE	Ph 20
			NO	2028 P 110 REV P10
cowper griffith architects			COVERER GRIFFITH ARCHITECTS LLP 15 HIGH STREET WHITTFORD, CAMBRIDGE CB32 4JF www.cowpergriffith.co.uk	



SECTION B FACING NORTH, THRO' LOGGIA  
1:100 @ A1



SOUTH ELEVATION / SITE SECTION C  
1:100 @ A1



DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE  
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	14.12.20	Issue to Client for information
P2	19.12.20	Window amendments
P3	13.01.21	Window relocations
P4	18.01.21	South shading removal
P5	20.01.21	Final window schedule principal bathroom
P6	26.02.21	Final first floor window schedule aligned
P7	03.06.21	Clearance section roof profile redesigned to suit lower roof to street frontage
P8	04.08.21	RELAUBRESCO
P9	09.02.22	Scheme redesign for planning

DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	SOUTH ELEVATION, SECTION B
	CHECKED	SCALE	DATE	NO
		SCALE @ A1: 1:100 (8A1: 1:200)	DATE	The 20
			NO	2028 P 111 REV P9
		COVER GRIFFITH ARCHITECTS LLP 15 HIGH STREET WHITTLERSFORD CARBOROUGH CB22 4ET www.covergriffith.co.uk		







Siting of proposed extension to the side elevation of Denning from Marsh Lane



Siting of proposed extension in relation to the neighbouring dwelling Lechmere





Siting of proposed first floor extension on the eastern elevation of Denning





Context view of Denning and Lechmere in the street scene



Southern elevation of Denning





Wider view of southern elevation of Denning





Siting of two storey extension along the Western boundary





Wider view of the western boundary





Siting of two storey extension from within the site – showing the gap between properties





Siting of first floor extension to the eastern elevation

Speaker  
Gerard Nieuwenhuys



## DENNING, BURNHAM NORTON

Comment from KL&WN Case Officer's report to Committee **in red**.  
Response **in green**.

## SUBSERVIENCE

**"The proposed two storey extension ... cannot be considered subservient to the existing dwelling"**

Streetscene: the extension adds 3.4m to the existing 21.0m

Garden: The extension 'leg' of the L-shaped proposed dwelling measures 13.2m north to south.  
The existing house 'leg' measures 18.1m including the decorative, curved parapet.

## RELATIONSHIP BETWEEN NEW WORKS AND EXISTING BUILDING

**"The extension ... would fail to respond sensitively and sympathetically to the design and appearance of the existing dwelling"**

The design and appearance of the extension is essentially the same as in the first application on north, south and east elevations. No objections or criticisms were raised, so the design remains fundamentally unaltered.

## APPROPRIATENESS OF MATERIALS

**"The use of boarding is also an alien feature in this locality"**

Lechmere's western gable end is partially boarded and fully visible on Marsh Lane.

Lechmere also has partial boarding to its south and east elevations.  
There is an amount of boarding on the extant consent to No. 5 Marsh Lane.

Trowland Cottage opposite and Denning's ancillary buildings are all boarded.  
There are many examples of boarding in Norton and 'The Burnhams'.



DENNING, BURNHAM NORTON  
Response to refused application 21/00122/F

Comment from KL&WN Conservation Officer **in red**.  
Current scheme's response **in green**.

DISTANCE TO BOUNDARY

This application is ... of concern in terms of impact upon the conservation area.  
The proposed large two storey extension still extends up to the western boundary.  
Proposals min. 2.8m, max 4.0m to shared western boundary with 'Lechmere'

IMPACT UPON WIDTH OF HOUSE

The proposed north elevation clearly shows the impact the width of the proposed extension would have on the overall width of the house  
Proposal adds 3.4m, or 16.2% to the overall length of 'Denning'. Total length 24.4m versus Lechmere at 38m+.

IMPACT UPON THE GAP BETWEEN DENNING AND LECHMERE

...but also more importantly filling 50% of the space and setting between this property and the one next door.  
The proposal reduces the gap between Denning & Lechmere from 15m to 11.6m.

CHARACTER OF THE CONSERVATION AREA

This application in itself will change the character of this section of the conservation area.  
The well argued Heritage Statement presents a cohesive and compelling argument to the contrary.

"The north elevation will still retain its character and this is the most visible elevation in the AONB"  
Gemma Clark, Norfolk Coastal Partnership (neutral comment on first application)





EXISTING CONDITION



CURRENT APPLICATION





baseline (existing)



proposed

Photomontage sheet 1 - view from Marsh Lane, facing East (outside 'Lechmere') - using 'verified view' methodology

- Only the eaves and lower roof are barely visible.
- The new works have negligible impact upon the form, density, character and materiality of this part of Marsh Lane.



taken in front of Denning's garden



taken in front of Denning

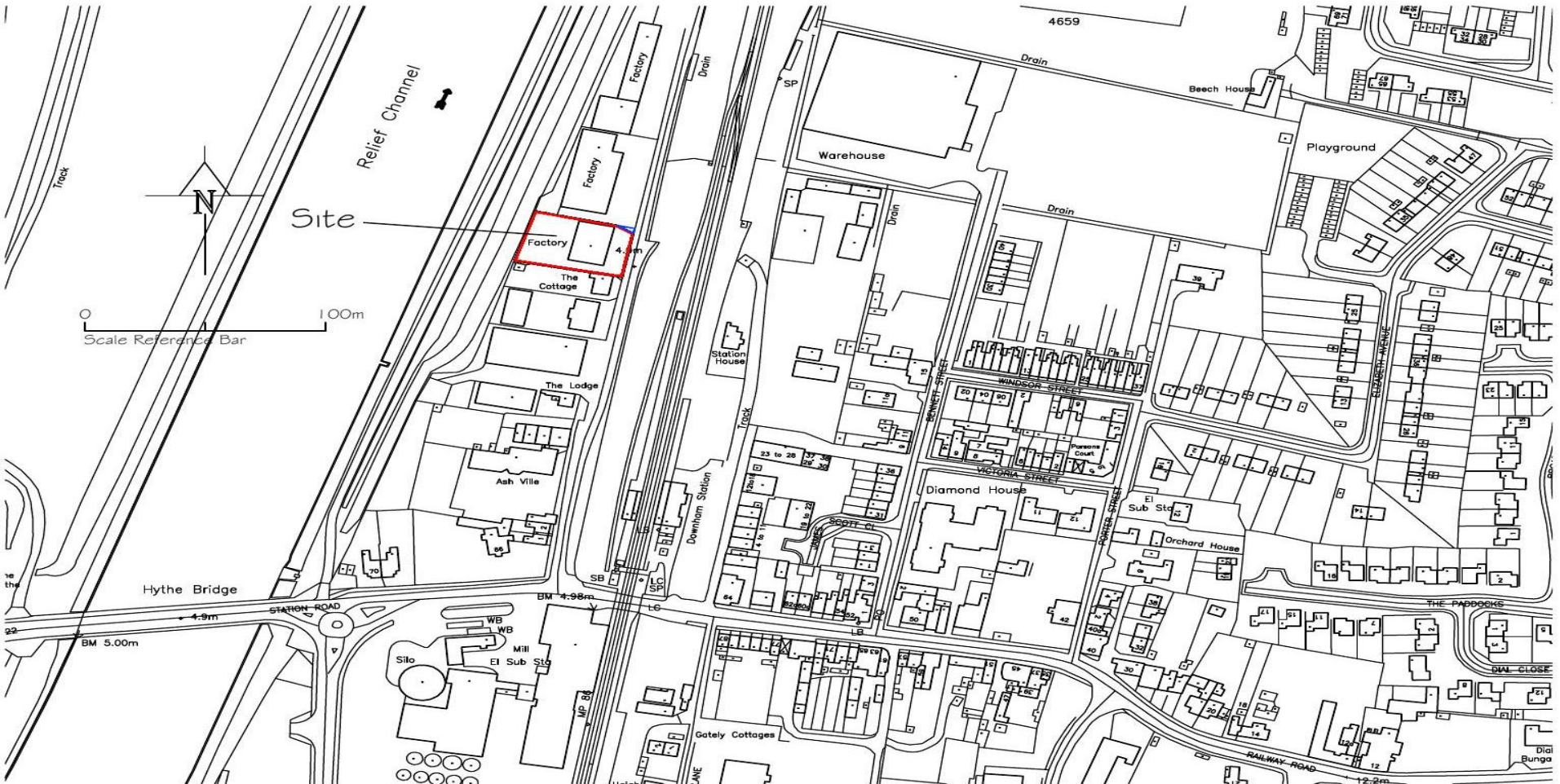
### Photomontage sheet 2 - views from Marsh Lane, facing West

- The existing 1 - 1 1/2 storey decorative curved parapet obscures much of the extension.
- The new extension is set back from Denning, which in turn is set back from Lechmere.
- The gap continues to read clearly and significantly, emphasising the space between properties rather than any terracing effect.

22/01484/F

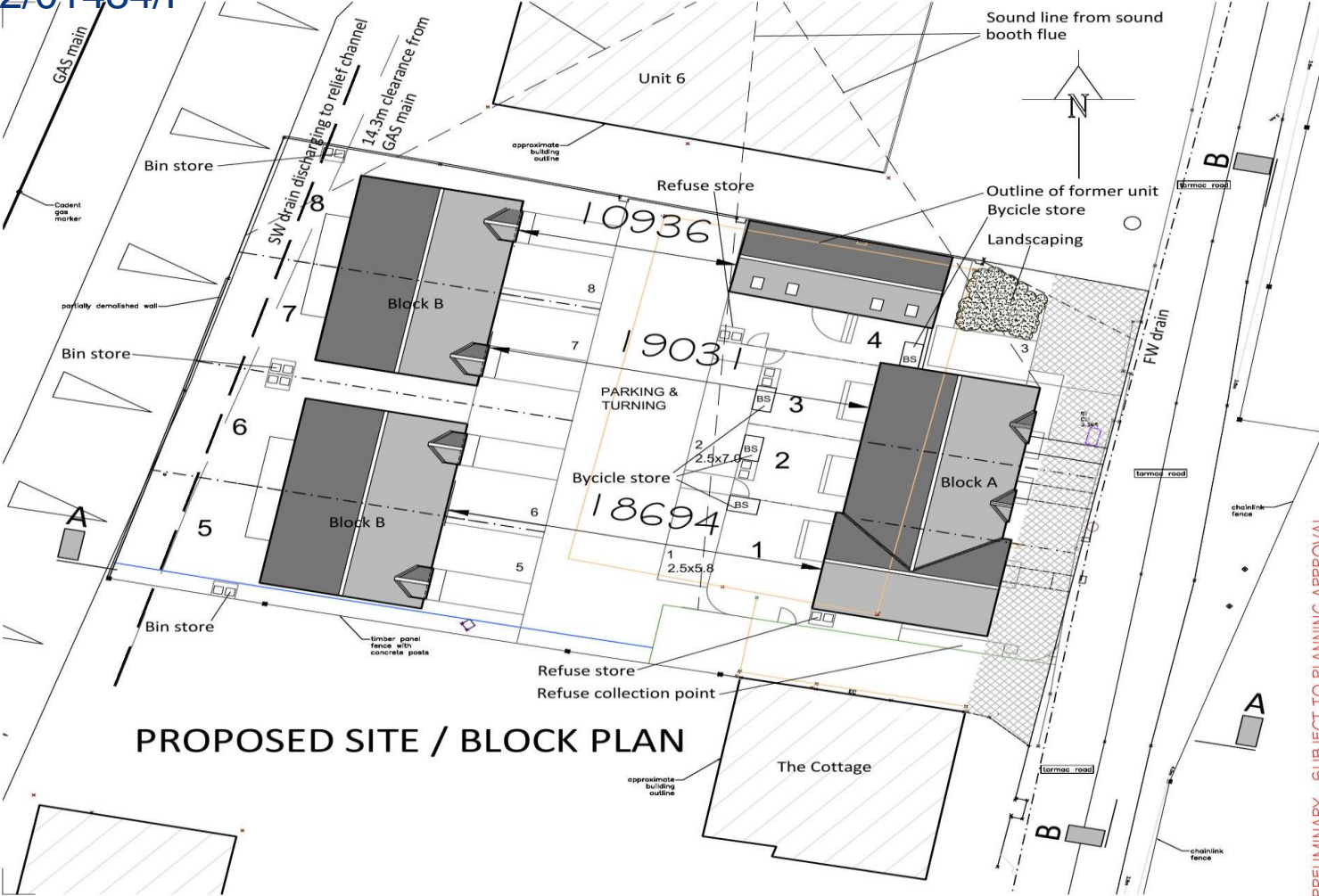












**PROPOSED SITE / BLOCK PLAN**

1. This drawing is the property of Matt Gosling Architectural Design and should only be copied or reproduced with the Authors consent.  
 2. This drawing has been produced for Planning and Building Regulation purposes only.  
 3. It is the responsibility of the recipient of this drawing to ensure it has been printed at the correct scale using the scale reference bar below.  
 4. Do not use this drawing for Assessment of quantities or measurement.  
 5. Contractors and their sub-contractors use to check and verify all measurements and levels on site prior to manufacture and commencement of work.  
 6. Only use figured dimensions.  
 7. Any discrepancies to be brought to the Designers immediate attention.

chainlink fence 0 SCALE REFERENCE - 50mm LINE 50mm

NEW FINISHED FLOOR LEVEL TO BE  
 PLOT 1 to 3 - 3.90m aOD  
 PLOT 4 - 3.90m aOD  
 PLOT 5 to 8 - 3.15m aOD

SITE LEVELS TO BE AS INDICATED.  
 DENOTES PROPOSED SITE LEVEL.

FOUL SEWER TO BE CONNECTED EXISTING MAIN SEWER IN FAIRFIELD ROAD VIA EXISTING CONNECTION. SURFACE WATER TO BE CONNECTED TO SURFACE WATER DRAIN AT REAR.

REV	DESCRIPTION	DATE
A	Unit 1-3 parking amended.	14.07.22

**M DESIGN**  
 6 Hawthorn Close  
 Watlington  
 King's Lynn  
 Norfolk  
 PE33 0HD  
 Tel: 01553 811564  
 Email: mattgosling@aol.com

Project Title  
 DEVELOPMENT NORTH OF THE COTTAGE  
 FAIRFIELD ROAD  
 DOWNHAM MARKET  
 NORFOLK

Drawing Title  
 PROPOSED SITE/BLOCK PLAN - SK3

Scale 1:200 Date Jun 21 Drawn MG

Drawing No: 1008/21 - 09 Rev: A

PRELIMINARY - SUBJECT TO PLANNING APPROVAL





1. This drawing is copyright of Matthew Gosling Architectural Design and should only be copied or reproduced with the Authors consent.  
 2. This drawing has been produced for Planning and Building Regulation purposes only.  
 3. It is the responsibility of the recipient of this drawing to ensure it has been printed at the correct scale using the scale reference box shown.  
 4. Do not use this drawing for Assessment of quantities or measurement.  
 5. Contractors and their sub-contractors are to check and verify all measurements and levels on site prior to manufacture and commencement of works.  
 6. Only use figured dimensions.  
 7. Any discrepancies to be brought to the Designers immediate attention.

0 50mm LINE 50mm

- HARD LANDSCAPING KEY**
- (A) 1.80m high close boarded timber fence panel and slotted concrete posts
  - (B) 500mm high timber post and rail fence
  - (C) Brick garden wall
  - (D) 450x450mm buff concrete paving slabs
  - (E) 14mm washed shingle.
  - (F) Permeable tarmac
  - (G) Timber decked steps.
  - (H) 3.0m acoustic fence.
- SOFT LANDSCAPING KEY**
- (I) Seeded grass area
  - (J) Landscaped area

B	Updated to suit new layout.	02.08.22
A	Updated to suit Final Scheme.	15.02.22
REV	DESCRIPTION	DATE

**MCG DESIGN**

6 Hawthorn Close  
 Watlington  
 King's Lynn  
 Norfolk  
 PE33 0HD  
 Tel: 01553 811564  
 Email: mattgosling@aol.com

Project Title  
 DEVELOPMENT NORTH OF THE COTTAGE  
 FAIRFIELD ROAD  
 DOWNHAM MARKET  
 NORFOLK

Drawing Title  
 LANDSCAPING PLAN

Scale	Date	Drawn
1:200	May 21	MG
Drawing No:	1008/21 - 05	Rev: B

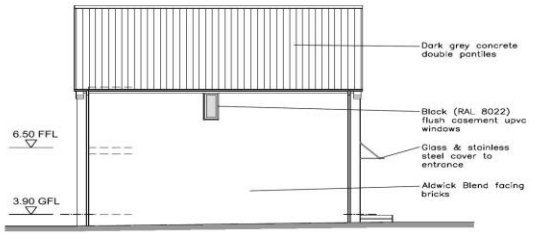
PRELIMINARY - SUBJECT TO PLANNING APPROVAL

**PROPOSED HARD/SOFT LANDSCAPING PLAN**

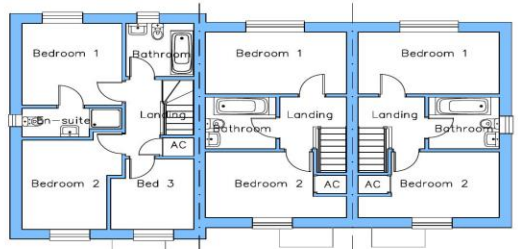
THIS DRAWING IS THE PROPERTY OF MCG DESIGN AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF MCG DESIGN. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION IS STRICTLY PROHIBITED. MCG DESIGN ACCEPTS NO LIABILITY FOR ANY DAMAGE OR LOSS, INCLUDING BUT NOT LIMITED TO, CONSEQUENTIAL DAMAGES, ARISING OUT OF THE USE OF THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AUTHORITIES.



Front East Elevation



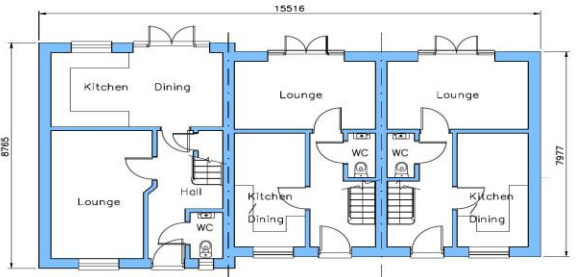
Side South Elevation



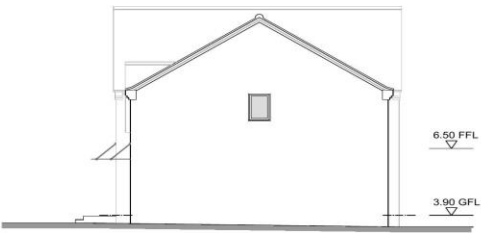
First Floor



Rear West Elevation



Ground Floor



Side North Elevation

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

B	Unit 4 removed.	13.02.22
A	Unit 4 amended to a 2 bed unit.	20.10.21
REV	DESCRIPTION	DATE

**MCG DESIGN**  
 6 Hawthorn Close  
 Wotton  
 King's Lynn  
 Norfolk  
 PE33 0HD  
 Tel: 01553 811564  
 Email: mat@gosling@aol.com

Project Title  
 DEVELOPMENT NORTH OF THE COTTAGE  
 FAIRFIELD ROAD  
 DOWNHAM MARKET  
 NORFOLK

Drawing Title  
 PLOTS 1 to 3 - FLOOR PLANS & ELEVATIONS

Scale	Date	Drawn
1:100	Apr 21	MG

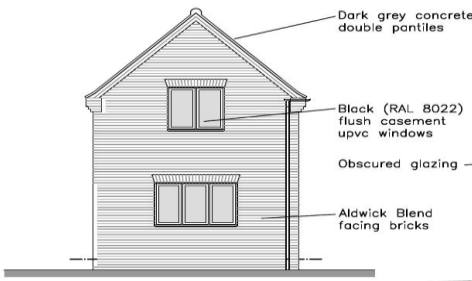
Drawing No: 1008/21 - 02 Rev: B



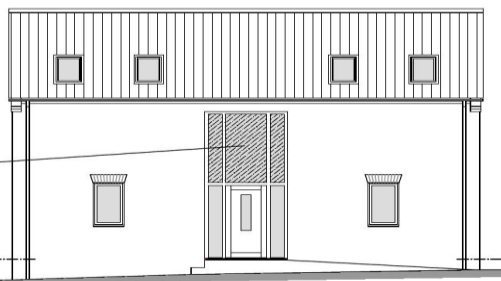


1. This drawing is the property of Matt Gosling Architectural Design and should only be copied or reproduced with the Authors consent.  
 2. This drawing has been produced for Planning and Building Regulation purposes only.  
 3. It is the responsibility of the recipient of this drawing to ensure it has been printed at the correct scale using the scale reference bar below.  
 4. Do not use this drawing for Assessment of quantities or measurement.  
 5. Contractors and their sub-contractors are to check and verify all measurements and levels on site prior to manufacture and commencement of work.  
 6. Only use figured dimensions.  
 7. Any discrepancies to be brought to the Designers immediate attention.

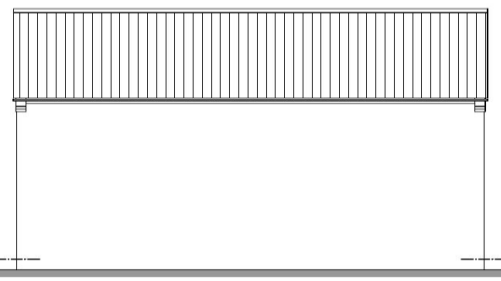
0 | SCALE REFERENCE - 50mm LINE | 50mm



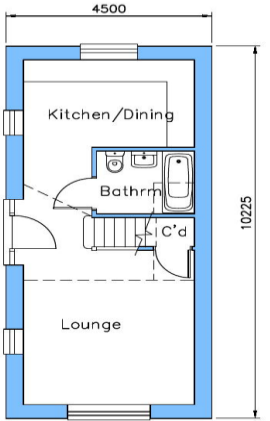
Front East Elevation



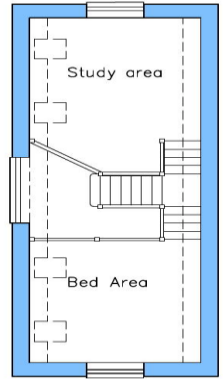
Side South Elevation



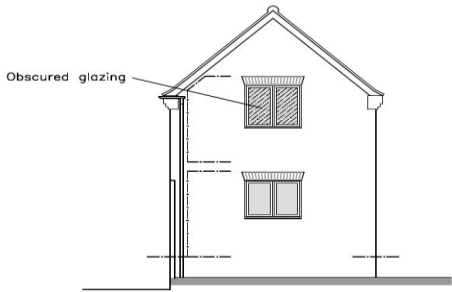
Side North Elevation



Ground Floor



First Floor



Rear West Elevation

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

REV	DESCRIPTION	DATE

**M DESIGN** 6 Hawthorn Close  
 Watlington  
 King's Lynn  
 Norfolk  
 PE33 0HD  
 Tel: 01553 811564  
 Email: mattgosling@aol.com

Project Title  
 DEVELOPMENT NORTH OF THE COTTAGE  
 FAIRFIELD ROAD  
 DOWNHAM MARKET  
 NORFOLK

Drawing Title  
 PLOT 4 - FLOOR PLANS & ELEVATIONS

Scale	Date	Drawn
1:100	Feb 22	MG

Drawing No: 1008/21 - 07 Rev:





Application site





**USE SAFETY NOTICE**  
Do not enter this site unless you are authorised to do so.  
Safety barriers must be worn.  
Alternative footwear must be worn.

Application site





View looking north to application site



View looking north along Fairfield Road





View looking south along Fairfield Road



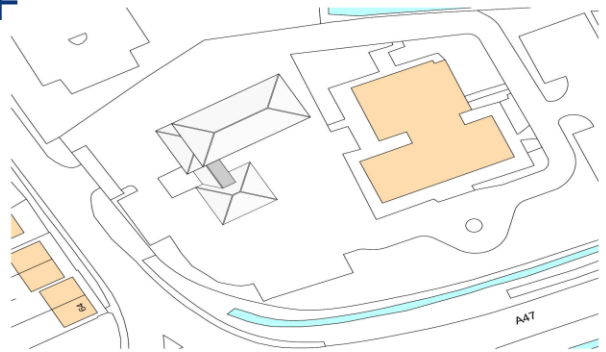


View opposite application site

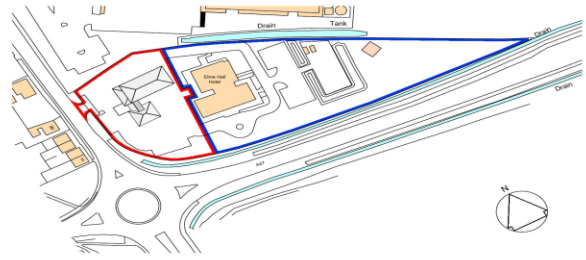
22/01014/F



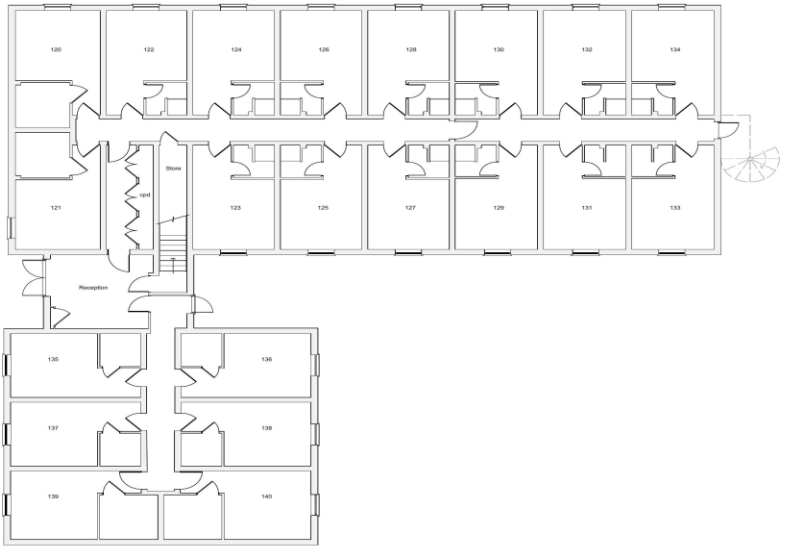




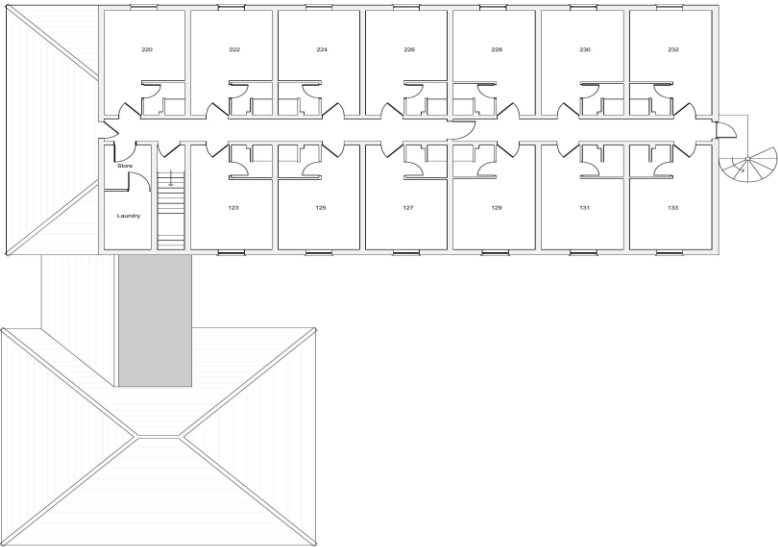
EXISTING SITE PLAN 1:500



LOCATION PLAN 1:1250



GROUND FLOOR PLAN 1:100



FIRST FLOOR PLAN 1:100

**PRELIMINARY**

DRAWING REVISIONS	

**INSPIRE**  
ARCHITECTURAL

WOODGATE HOUSE, HOLLYCROFT ROAD, EWMETH  
01945 351442 07920 796449  
inspirearchitectural@gmail.com

PROJECT  
Proposed Change of Use

Elme Hall Lodge  
Elme Hall Hotel  
Wisbech

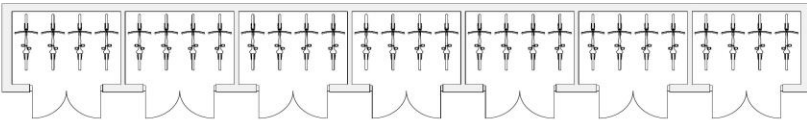
DRAWING TITLE  
Existing Floor Plans,  
Site Plan and Location Plan

SCALE as stated at A1

DATE JULY 2021

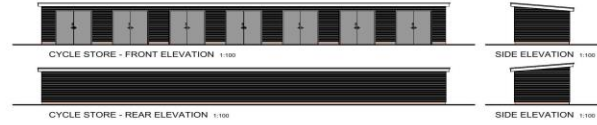
DRAWN STB

DRAWING NO  
224 - 01 A



CYCLE STORE - FLOOR PLAN 1:50

TIMBER CLAD MASONRY WALLS  
SOLID DOORS WITH KEY CODE LOCKS  
FIBREGLASS ROOF

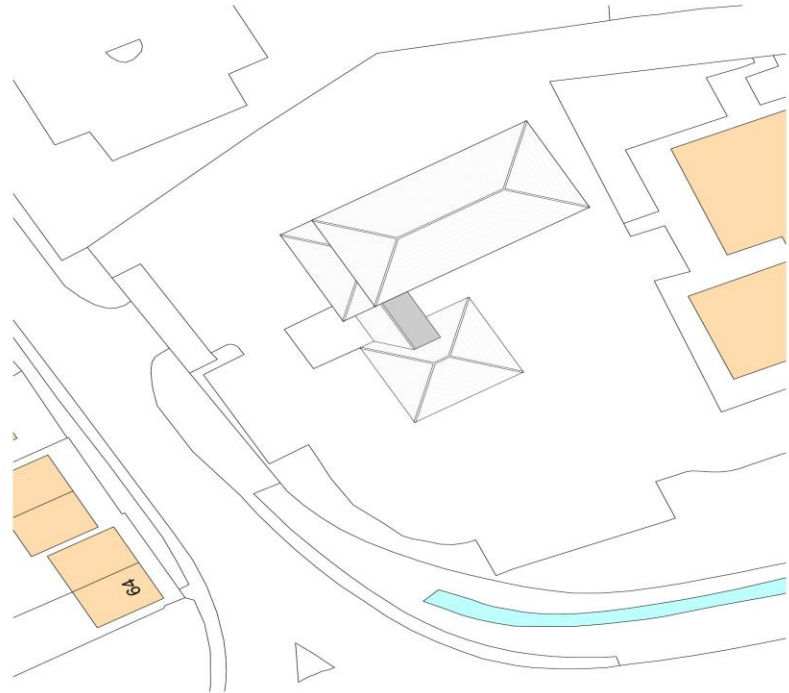


CYCLE STORE - FRONT ELEVATION 1:100

CYCLE STORE - REAR ELEVATION 1:100

SIDE ELEVATION 1:100

SIDE ELEVATION 1:100



EXISTING SITE PLAN 1:250



PROPOSED SITE PLAN 1:250

- SECURE CYCLE STORAGE
- BIN STORAGE COMPARTMENT

NOTE: SITE LEVELS TO REMAIN UNCHANGED AND UNAFFECTED



PRELIMINARY

DRAWING REVISIONS	
B	21.04.22 CYCLE STORE ELEVATIONS ADDED TO PLAN
C	22.04.22 CYCLE STORE PLAN ADDED TO PLAN

INSPIRE ARCHITECTURAL

WOODGATE HOUSE, HOLLYCROFT ROAD, EVANETH  
01945 351442 07920 796449  
inspirearchitectural@gmail.com

PROJECT  
Proposed Change of Use

Elme Hall Lodge  
Elme Hall Hotel  
Wisbech

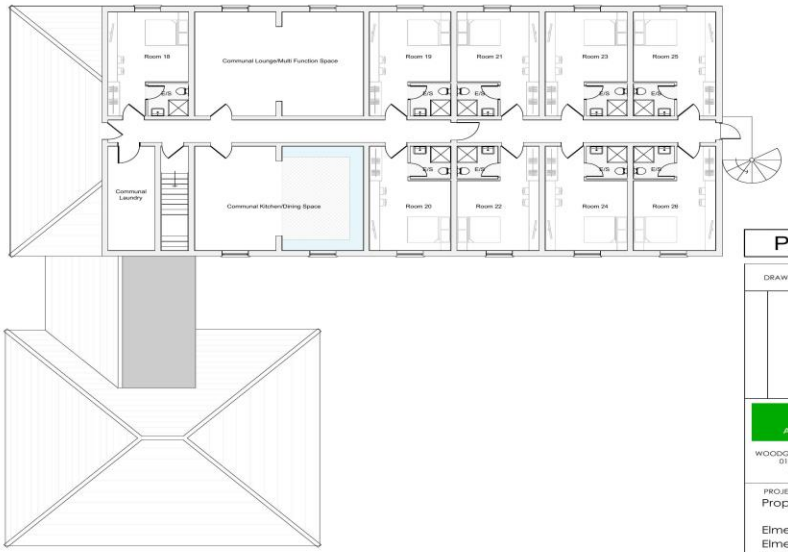
DRAWING TITLE  
Existing and Proposed  
Site Plans

SCALE as stated on A1

DATE JULY 2021

DRAWN STB

DRAWING NO  
224 - 03 C



**PRELIMINARY**

DRAWING REVISIONS


**INSPIRE ARCHITECTURAL**

WOODGATE HOUSE, HOLLYCROFT ROAD, BARNETH  
01945 351442 07920 795449  
inspirearchitectural@gmail.com

PROJECT  
Proposed Change of Use

Elme Hall Lodge  
Elme Hall Hotel  
Wisbech

DRAWING TITLE  
Proposed Floor Plans

SCALE as stated at A1

DATE JULY 2021

DRAWN STB

DRAWING NO. 224 - 02 C





Application site (looking north)





Application site (looking north)





Hotel to east of application site





Application site (looking northwest)





Application site access





Looking along southwestern boundary of the site



22/00982/F









NOTES  
BEFORE WORK BEGINS  
Contractors must verify all dimensions on site before commencing work on site. Any discrepancies must be reported before works are undertaken or materials are ordered.



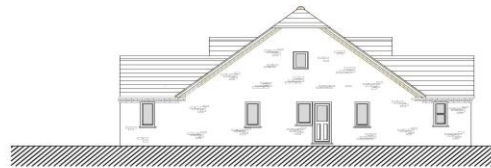
Rear Elevation  
scale 1:100



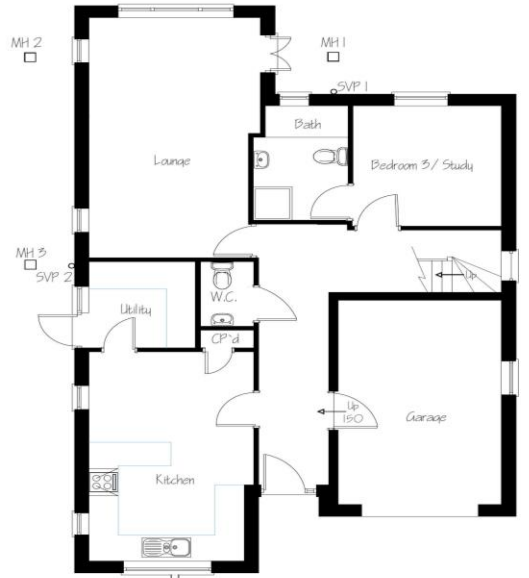
Front Elevation  
scale 1:100



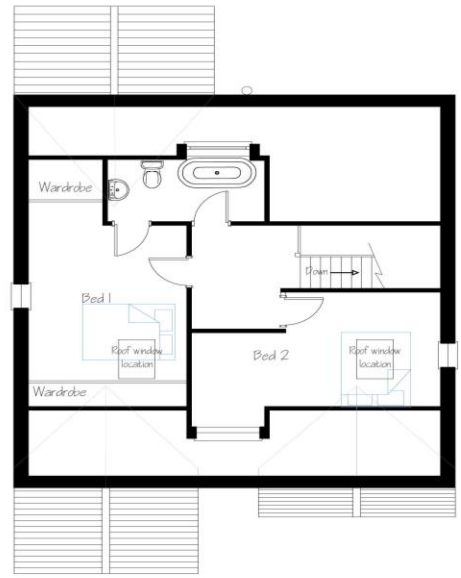
R/H Elevation  
scale 1:100



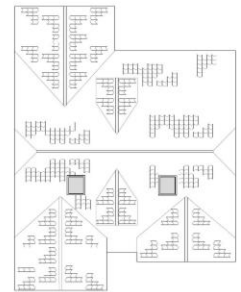
L/H Elevation  
scale 1:100



Ground floor layout  
scale 1:50



First floor layout  
scale 1:50



Roof layout  
scale 1:50



Section  
scale 1:100

41 Ringstead Road  
Heacham  
Norfolk  
PE31 7JA

Telephone: 07724 639615  
Final Approval: Yes/no Date: / /  
Office Checked: Yes/no Date: / /



REV	DATE	BY	APPROVED

Client  
Mr G King  
18 James Jackson Road  
Dorset

Drawing Title  
PROPOSED PLANS AND ELEVATIONS

Drawn by: SWW Date: 19.05.2022  
 Job Number: Drawing No: 1901  
 EPR022 - 14 1 As Shown

All dimensions are in millimetres. All dimensions to be checked on site.  
 Floor Slab at 1.1m above ground level.  
 Grid: 10 20 30 40 50 60 70 80 90



Looking south into site





Looking from Coaly Lane towards access with Lynn Road





Existing bungalow to East



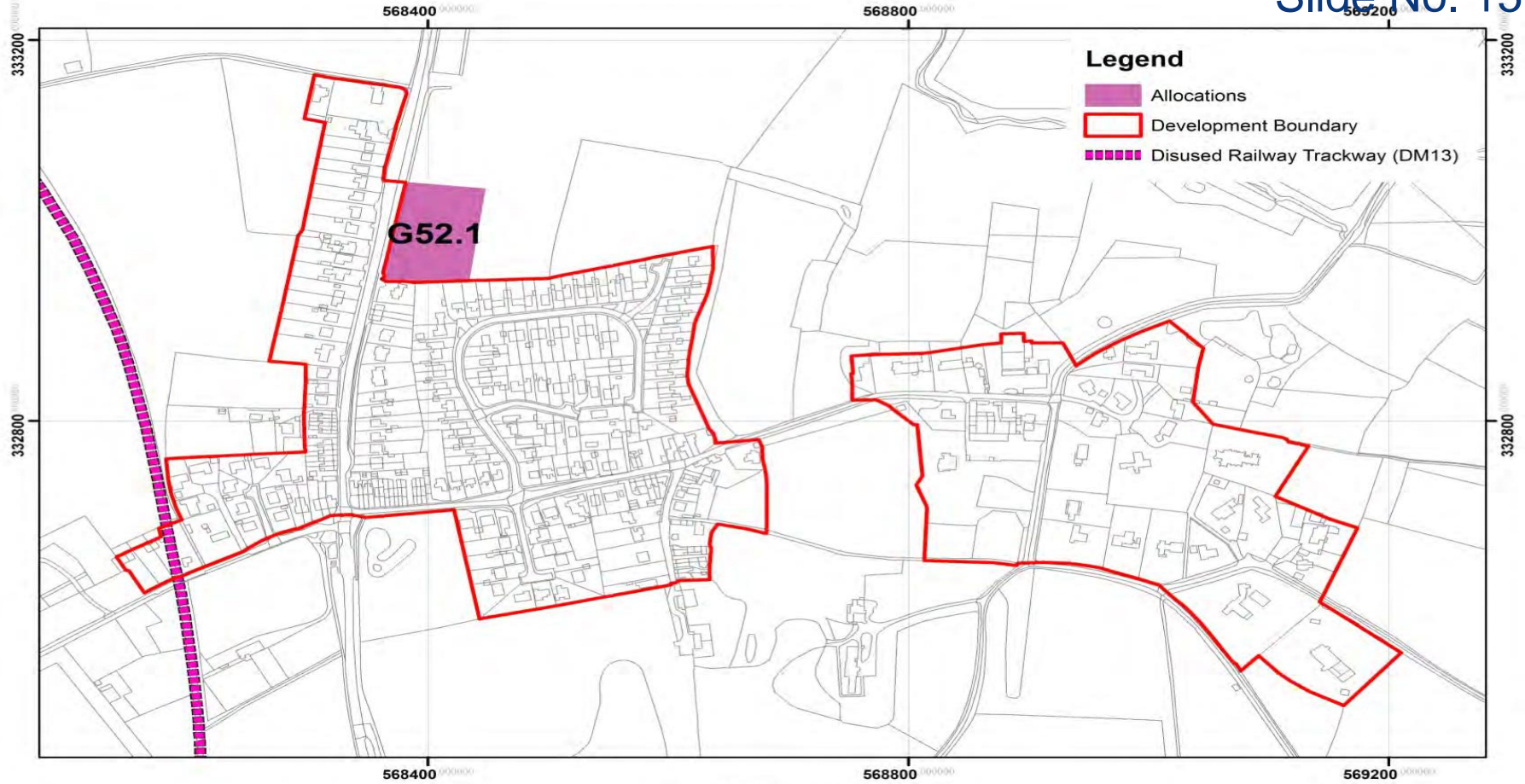


Storage use to West



Speaker  
Samantha Anthony

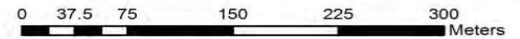




**Legend**

- Allocations
- Development Boundary
- Disused Railway Trackway (DM13)

**Inset G52 Ingoldisthorpe**





22/01496/O





PROPOSED NEW RESIDENTIAL DEVELOPMENT LAND ADJACENT TO ROSEVILLE CHALK ROAD, WALPOLE ST. PETER



NOTE: An additional better tree to be planted across the site in accordance with the arboricultural report prepared for the site.



Existing private drainage location with access to the rear of the site to be retained

NOTE: These drawings are for 'Outline All Matters Regional' planning application purposes and therefore the proposals indicated are indicative only.



GENERAL PROJECT NOTES:

- All materials & products specified are to be installed in complete accordance with manufacturers details, full instructions & recommendations.
All works carried out are to comply with current British Standards, Codes of Practice, Agreement Certificates & current building regulations.
Alternative materials to those specified may be used by the contractor however it is the responsibility of the contractor to ensure that the replacement materials comply with current British Standards, building regulations and are suitable for the proposed use.
Any conflicting information is to be confirmed prior to commencement of the works, no responsibility can be accepted for dimensions scaled from drawings and the building contractors are expected to check all dimensions and details prior to commencement of the works on site.
No responsibility can be taken for any works commenced on site prior to the approval of the both planning and building regulations being granted. Any works therefore carried out are undertaken entirely at the contractors / clients risk.
Any elements within an existing structure which will be subject to additional loading by the proposals are to be checked for suitability prior to commencement of the works.
All works adjacent to a site boundary or within 3m of a party wall must not be commenced without the neighbour being informed in writing a the relevant permissions obtained under the Party Wall act 1999.
The main contractor is responsible for the design, installation and maintenance of any temporary works deemed necessary to ensure the stability of the existing structure throughout the duration the works.
No variation to the design indicated on the project drawings are to be carried out without written approval from distinct DESIGNS UK Ltd and approval from the relevant planning authority and building regulations approval were applicable.
Any existing underground drainage shown or implied is assumed and must be verified by testing and careful site excavation by the contractor before works commence.

dd DESIGNING DEVELOPMENT
PROPOSED NEW RESIDENTIAL DEVELOPMENT
LAND ADJACENT TO CHALK ROAD, WALPOLE ST. PETER
PLANNING APPLICATION
1:1000
21/03/21







Kirkfield Farm to the north of the site





Northern end of the site





View northwards from midway along site frontage on Chalk Road





View southwards from midway along site frontage on Chalk Road





View southwards further along Chalk Road frontage



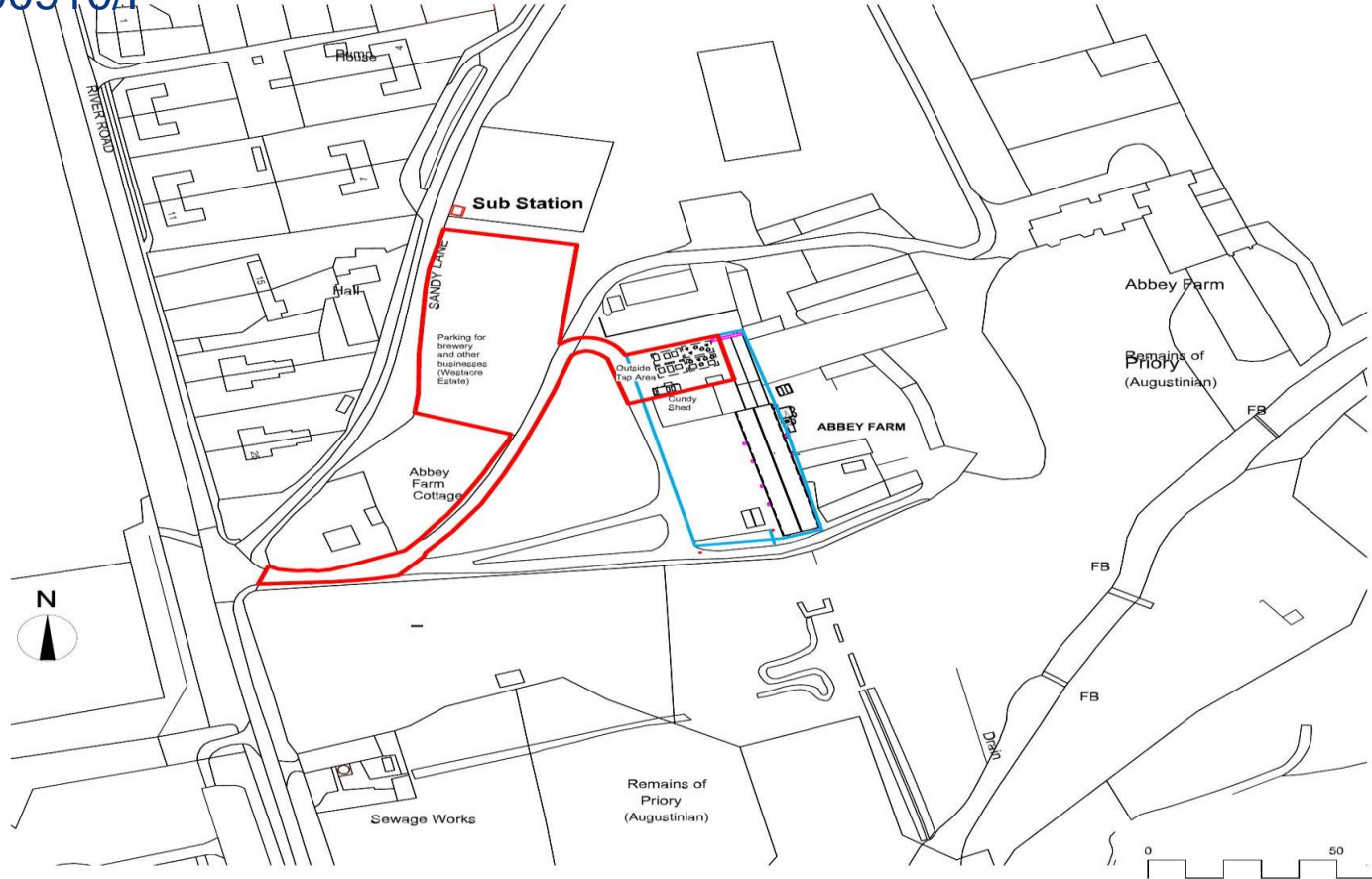


Roseville to south of the site

22/00910/F







Revision A: Feb 2022. Location of tap area added  
 Revision B: Mar 2022. Containers Removed. Tap area amended  
 Revision C: Mar 2022. Tap area amended  
 Revision D: Apr 2022. Parking area indicated  
 Revision E: May 2022. Blue line amended



- Revision A: Feb 2022. Location of tap area and containers added
- Revision B: Mar 2022. Containers Removed. Tap area amended
- Revision C: Apr 2022. Tap area amended
- Revision D: Apr 2022. Disabled space and parking indicated
- Revision E: Apr 2022. Blue line amended
- Revision F: Apr 2022. Tap area indicated in green



**RB RUTH BRENNAN ARCHITECTURE**

**Job: Title: Block Plan Scale: 1:200 @ A3**  
**Client: Duration Brewing, Westacre**  
**Date: July 2021 No 107F Block Plan**

12 School Lane, Little Melton, Norwich NR9 3NL. Tel: 01603 810003 Mob: 07551 686643 Email: [info@ruthbrennanarchitecture.co.uk](mailto:info@ruthbrennanarchitecture.co.uk)

Registered Office as above. Ruth Brennan Architecture Ltd T/A Ruth Brennan Architecture. Registered in England and Wales Company No 07788974

**PLANNING**

The copyright of the design remains with Ruth Brennan Architects Ltd and may not be reproduced without their prior written consent. All rights reserved. This drawing to be read in conjunction with all other drawings and documents. Do not scale. Check all dimensions on site.





Access to the site from River Road

11 07 2022





Tap Days location

Access track within the site towards the Tap Days location





Tap Days area



Facing south towards the Cundey Shed and access from the edge of the Tap Days area





11 07 2022

View south-west towards the access within the site

Tap Days location



11 07 2022

View north of the grassed area used for parking





11 07 2022

Western boundary of the site showing neighbouring properties along River Road

Speaker  
Miranda Hudson





# DURATION

WEST ACRE BREWING NORFOLK



@durationbeer





- Duration family-run local business
- 9 full-time employees plus casuals
- £280k in LEADER and local government funding
- 18 awards in first 3 years
- Ranked in top 10 new breweries worldwide in 2020
- Strong local support with permanent lines in 11 local pubs & restaurants
- Modest plans for a 120 cover seasonally open taproom





@durationbeer







*“This is a great asset to Westacre. repurposing a derelict historic barn and bringing not only locals but many others to the area. The team on site are great, knowledgeable and will always go the extra mile to make the visit enjoyable and memorable. The brewery also employs local people enabling them to advise on visitor's questions on what else this great county can offer a visitor”.*



“As someone who spent considerable amounts of time during my childhood in West Acre its fantastic to see Abbey Farm busy again. It's really clear that Duration cares about the community and is keen to involve them in decision making at a local level”.







@durationbeer



## Application Consideration

- Last year taproom had 118 seats outside and 44 seats inside
- This application has 76 outside seats and 44 seats inside
- Capped to 150 vehicle movements a day limited to 4 days a week trading (less in winter) and only until 6pm on Sundays.
- Duration is seeking permission to formalise an arrangement established in 2021 at a smaller scale
- Temporary planning could support feasibility for phase 2 replacement with dedicated taproom and retail area with more inside space
- Small retail element always intended on site. No options available for inside space currently.



@durationbeer





# FOR THE DURATION





## How we have calculated our requirements

### SUMMER BUSIEST DAYS:

• 11.30am	4 staff and 1 caterer	5 cars
• 12-2pm	120 visitors	40 cars
• 2-4pm	90 visitors	30 cars
• 4-6pm	30 visitors	10 cars
• 6-8pm	60 visitors	20 cars
• All Day	Brewery traffic	8 cars + 30 movements

Total Day	300 Visitors	113 cars 143 movements
-----------	--------------	------------------------

### WINTER BUSIEST DAYS:

• 11.30am	1-2 staff and 0-1 caterer	3 cars
• 12-2pm	30 visitors	10 cars
• 2-4pm	30 visitors	10 cars
• 4-6pm	closed	0 cars
• 6-8pm	closed	0 cars
• All Day	Brewery traffic	8 cars + 30 movements

Total Day	60 Visitors	31 cars 61 movements
-----------	-------------	----------------------



"I believe it is very important for historic buildings to find a use in the modern world. I was delighted to work with a visionary new business and two young people who are not only committed and talented, but brave and fun to work with".

"I have very much enjoyed the appreciation they have shown for the efforts it has taken for the team to bring the project to its completion".

**Ruth Brennan - Historic Architect and Director at Ruth Brennan Architects**



@durationbeer



# FOR THE DURATION



2020  
BEST FARMHOUSE  
BREWERY EAST ANGLIA



2020  
BEST AMERICAN PALE  
TURTLES ALL THE WAY DOWN



2020  
BEST NEW BREWERY  
IN THE UK



2020  
NEW BEER OF THE YEAR  
TURTLES ALL THE WAY DOWN



2020  
TOP 10 BEST NEW  
BREWERY IN THE WORLD



2020  
BEST BREWER IN  
EAST ANGLIA



2020  
BEST BEER EAST ANGLIA  
BET THE FARM



2020  
BEST BREWER IN  
EAST ANGLIA



2020  
BEST SPONTANEOUS ALE  
BEANS



2021  
SPECIALITY LAGER  
HARVEST BEER



2021  
GOLD  
PREMIUM LAGER  
DOSES



2020  
SILVER  
BEST IMPERIAL IPA  
REMEMBER WHEN THE PUB



2022  
GOLD  
PREMIUM LAGER  
DOSES



2022  
SILVER  
AMBER TO DARK LAGER  
HARVEST BEER



2020  
BEST CONSERVATION  
PROJECT



51k



7.2k



13.8k



4.1k

4.9



GOOGLE REVIEWS

“ Visited the taproom yesterday (finally, been waiting since 2020!!) and wasn't disappointed - lovely dog friendly vibes, welcoming staff and regulars and of course amazing beers. The flights are super reasonably priced and when we visited there was a van set up outside serving brilliant toastsies.

I tried each of the core range and Turtles All The Way Down was excellent (as always) straight from the tank. Also picked up a couple of the bottles from their recent Deya collab (I tried the saison and the wit) and both were amazing.

Highly recommended for anybody visiting Norfolk that likes their beer - we drove over from Wells-Next-The-Sea which took about 30mins.



JOE WILDE

“ Just wow, for the beer, the brewery and the whole experience of the tour. We were on a tour with one of the owners. Parking is easy with a fair few spaces. There is also an outdoor space for you to enjoy your beer. In addition there is a merch store (although clothing might not be of the best quality) it is still cool to support them.



AEOLUS MELTEM

“ State of the art brewery hidden in the village between Norwich and Cambridge... Not only worth a detour from A11 but also a day out at a brewery and the area.

I've tried every single beer available in September 2020 and couldn't find a bad one, but quite a few were simply outstanding and all of a top quality!



BART KAJOR



# END OF PRESENTATION

